

Town of Braselton  
Downtown Overlay District

DEVELOPMENT CODE AMENDMENT

Adopted March 2005

Jordan, Jones & Goulding, Inc.  
6801 Governors Lake Parkway  
Norcross, GA 30071  
in association with  
Ward Seymour and Associates Architecture  
Maddox, Mix, Bowman & Zoeckler, Attorneys at Law

## **ARTICLE XII DOWNTOWN OVERLAY DISTRICT (DOD)**

### **12.0 Intent and Purpose**

- A. Intent.  
The intent of the Downtown Overlay District is to create appropriate development and design guidelines to implement the Comprehensive Plan for the Town of Braselton and the Town of Braselton Master Plan.
- B. Purpose.  
The purpose of the Downtown Overlay District is:
  - 1. To enhance the quality and compatibility of development in the Downtown Overlay District.
  - 2. To encourage appropriate economic development through infill development, redevelopment, of underutilized property and adaptive reuse of existing buildings in the downtown.
  - 3. To create a sense of place that is aesthetically appealing, walkable and environmentally responsible.
  - 4. To encourage a balance of uses for living, working, shopping and playing that are accessible within a convenient walking distance.
  - 5. To promote safe and efficient movement within the Downtown Overlay District for persons using all modes of travel – motorized vehicles, public transportation, bicycles and walking.
  - 6. To establish consistent and harmonious design standards for public improvements and private property development within the Downtown Overlay District so as to unify the distinctive visual quality of Downtown Braselton.

### **12.1 Boundaries**

- A. Boundary Map. The boundaries of the Downtown Overlay District are shown in the Boundary Map attached as Exhibit A, which is hereby incorporated into and made part of this ordinance and the Official Zoning Atlas of Braselton.
- B. Tiers: The Downtown Overlay District shall be divided into three tiers with boundaries shown in Exhibit A:
  - 1. Tier I: Downtown Core
  - 2. Tier II: Downtown Transition
  - 3. Tier III: Downtown Conservation
- C. Map Amendments. No change in the boundary of the Downtown Overlay District shall be authorized, except by the Mayor and Town Council pursuant to procedures in Art.18.11.1 of the Town of Braselton Development Code.
- D. Interpretation of DOD Boundaries. Where uncertainty exists with respect to the boundaries of the Downtown Overlay District the following rules shall apply:
  - 1. Unless otherwise indicated, the district boundaries are intended to follow property lines; land lot lines; centerlines of streets, highways, alleys or railroads; or civil boundaries, and they shall be construed to follow such lines.
  - 2. Where district boundaries are approximately parallel to the centerlines of streets, highways, railroads, or right-of-way of the same, or said lines extended such district boundaries shall be construed as being parallel thereto and at such distance there from as indicated on Exhibit A. If no distance is given, such dimensions shall be determined by the Planning Director using the scale shown on Exhibit A.

## **12.2 Downtown Overlay District Design Guidelines**

- A. Design Guidelines Adopted. The Downtown Overlay District Design Guidelines of the Town of Braselton (DOD Design Guidelines) are hereby adopted and made part of this ordinance and shall apply to all property in the DOD as described in Article 12.3. Building design and construction except in substantial conformity with the Design Guidelines is prohibited.
- B. Intent of DOD Design Guidelines. The DOD Design Guidelines contain graphics and text standards that are intended to further the purposes of this Article by illustrating, refining and interpreting its requirements. In case of a conflict between the Design Guidelines and the text of this Article XII, the text of Article XII shall govern.

## **12.3 Effect of Overlay Zoning District**

- A. Effect. This Downtown Overlay District is supplemental to the underlying zoning district classifications established in the Town of Braselton Development Code governing all properties and approvals within this Downtown Overlay District. These Downtown Overlay District regulations shall be overlaid upon and shall be imposed in addition to said underlying zoning regulations and other Town ordinances.
- B. Application.
  - 1. The provisions of this Downtown Overlay District shall apply to all parcels of land and rights of way, or portions thereof, within the boundaries of the Downtown Overlay District. Any parcel of land that is wholly or partly within the boundary shall be included.
  - 2. This Downtown Overlay District shall apply to all applications for land disturbance permits, driveway permits, plan review, plat approval, building permits and utility permits for all property and rights-of-way within the boundaries of the Downtown Overlay District. Each such application or permit shall meet all of the requirements of the base zoning district in which it is located and, in addition, shall meet the requirements of the Downtown Overlay District applicable to the parcel as well as the Design Standards applicable thereto.
  - 3. Conflicting standards and requirements. In any case where the standards and requirements of this Downtown Overlay District conflict with those of the base zoning district or other provisions of the Town Code of Ordinances, the standards and requirements of this Downtown Overlay District (DOD) shall govern.
  - 4. Application, interpretation, and enforcement of the provisions of this Article as they apply to a specific property shall be made by the Planning Director in conformity with Article XVIII of the Town of Braselton Development Code. Appeals of such decisions made by the Planning Director shall be in accordance with Article 18.13.6 of the Town of Braselton Development Code.
- C. Procedures for Appeal
  - 1. It is the intent of the Town Council that all development shall conform to the standards and procedures set forth in this Article. In the event that the intent of this Article can be achieved with minor deviations that do not substantially impair the purpose or intent of this Article, the Town of Braselton Planning Director has the authority to modify the specific provisions to allow for such minor deviations.

2. If substantial modifications or changes are necessary, any person, firm, group or organization may apply for relief from the requirements set forth in this article to the Town of Braselton Zoning Board of Appeals, unless otherwise specified in this Article.
3. Appeals from requirements set forth in this chapter pertaining to landscaping, lighting, tree planting, facades and building architecture can be heard by the Zoning Board of Appeals through submittal of an Application for Modification of Overlay Standards. Any application for Modification of Overlay Standards shall be accompanied with the necessary information in order for the Zoning Board of Appeals to make a determination whether the alternate design proposal meets the intent of the requirements. The Zoning Board of Appeals, as part of an approval, may include conditions, modifications or requirements necessary to mitigate any part of their decision. The Planning Department shall determine the specific filing requirements as needed for each application. Appeals from all other property development and public improvement standards set forth in this article, unless otherwise specified in this article, can be heard by the Zoning Board of Appeals through the submittal of a Variance Application. All Variance requests shall adhere to the procedures and requirements set forth in Article XVIII.

#### **12.4 Amendments**

Amendments to the text of this Article and amendments to the DOD Design Guidelines shall be subject to procedures of Article 18.11.1 of the Town of Braselton Development Code.

#### **12.5 Public Improvement Standards**

- A. Public Improvement Standards. Public rights-of-way within the DOD shall be improved in accordance with the following standards:
  1. Street Standards. Street standards, by type, shall be as follows:
    - a. Arterials. See DOD Design Guidelines.
      - (1) 35-mph design speed.
      - (2) Minimum 82 ft. right-of-way.
      - (3) Four travel lanes at 12 ft. each.
      - (4) 24-in. wide curb and gutter.
      - (5) 5-ft. (minimum) wide landscape strip along outside curb (both sides of street).
      - (6) Sidewalk outside landscape strip. Width and location varies by Tier. See DOD Design Guidelines.
      - (7) Street furniture required in Tiers I and III.
      - (8) Streetlights are required in landscape strip.
      - (9) Street trees required in landscape strip.
    - b. Collectors. See DOD Design Guidelines.
      - (1) 30-mph design speed.
      - (2) Minimum 72 ft. right-of-way; 100 ft (with on-street parking).
      - (3) Two travel lanes at 12 ft. each and one two-way turn lane at 14 ft. (optional); or two travel lanes at 12 ft. each and on-street parking (angle or parallel) with curbed bulb outs at intersections, where appropriate.
      - (4) 24-in. wide curb and gutter.
      - (5) 5-ft. (minimum) wide landscape strip along outside curb.

- (6) Sidewalk outside landscape strip. Width varies by tier.
  - (7) Street lights are required in landscape strip.
  - (8) Street trees required in landscape strip.
  - c. Local Streets. See DOD Design Guidelines.
    - (1) 25-mph design speed.
    - (2) Minimum 50 ft. right-of-way.
    - (3) Two travel lanes at 11 ft. each.
    - (4) 18-in. wide curb and gutter.
    - (5) 5-ft. (minimum) wide landscape strip along outside curb.
    - (6) 6-ft. (minimum) wide sidewalk outside landscape strip.
    - (7) Streetlights are required in landscape strip.
    - (8) Street trees required in landscape strip.
    - (9) Maximum street grade of 8 percent.
  - d. Alleys. See DOD Design Guidelines.
    - (1) 20-ft. right-of-way.
    - (2) 14-ft. wide paved travel lane.
    - (3) 24" rolled curb. Inverted crown asphalt may be used as an alternative to curb and gutter for drainage purposes.
    - (4) 4-ft. setback from the edge of pavement.
    - (5) Utility easements as required by Planning Director.
    - (6) Maximum street grade of 8 percent.
  - e. Multi-use Trails. See DOD Design Guidelines.
    - (1) No motorized vehicles, except golf carts.
    - (2) Maximum grade of 6 percent.
    - (3) 14-ft. wide right-of-way.
    - (4) 10-ft. paved width (concrete).
    - (5) Shoulder width variable, based on topography.
    - (6) 5-ft. flare at street intersections, with ramp to street and bollards spaced 6'-6" apart to block motorized traffic, except golf carts.
2. Network Standards.
- a. Connectivity. Within a development that includes more than five acres, the following standards apply:
    - (1) No public street may be longer than 600 ft. without an intersection with another public street. Cul-de-sacs are prohibited, except where approved by the Planning Director because of unusual site conditions such as steep topography, streams, lakes, floodplains, wetlands, or stream crossings, safety hazards or other unusual property development or access constraints.
    - (2) Continuous pedestrian walkways at least 5 ft. wide must be provided to connect building entrances to required sidewalks along street frontage.
  - b. Crosswalks.
    - (1) All intersections shall contain crosswalks that connect to sidewalks in all quadrants.
    - (2) Crosswalks shall be demarcated with high-reflectivity thermoplastic paint, brick pavers, or concrete pavers.
3. Street Trees.
- a. Street trees shall be provided in medians and required landscape strips adjacent to all streets.

- b. Street trees shall be a minimum of 2 in. and a maximum of 4 in. diameter breast height (dbh) and be warranted by the developer for a period of 2 years.
  - c. Street trees shall be spaced an average of 30 ft. apart.
  - d. Spacing of street trees and streetlight standards may be adjusted to account for driveways, utility poles, fire hydrants and other obstructions and to provide adequate visual clearance for intersections, driveways and traffic control devices.
  - e. No street tree or streetlight standard shall be placed within 10 feet of another tree, streetlight standard, utility pole, driveway or fire hydrant.
  - f. Appropriate street tree species include:
    - (1) Large trees:
      - Nuttall Oak
      - Shumard Oak
      - Willow Oak
      - Northern Red Oak
      - Ginkgo (Variety: President, Autumn Gold, male gender)
      - Autumn Maple
      - Princeton Elm
      - Chinese Elm (Varieties: Allee, Athena, Drake, Bosque)
      - Bald Cypress (Variety: Shawnee Brave)
      - Zelkova (Variety: Green Vase or Village Green)
    - (2) Small trees:
      - Crepe Myrtle
      - Saucer Magnolia (Variety: Butterflies)
      - Chinese Fringe Tree
      - Golden Rain Tree
      - Texas Redbud (Cercis reniformis)
      - Kousa Dogwood
      - Washington Hawthorn "Princeton Sentry"
      - Zelkova (Variety: Wires)
    - (3) No more than 25 (or 25 percent of the total number, whichever is greater) of the trees installed may be of any one genus.
4. Landscaping.
- a. Medians and landscape strips shall be planted with grass and a variety of low, hardy shrubbery and flowering plants with mulched beds. Areas of exposed earth shall not be allowed. Landscaping shall be approved by the Planning Director.
  - b. Maintenance. All landscape materials required by this ordinance or other Article of the Town of Braselton Code of Ordinances shall be maintained by the property owner or property owners' association. Such maintenance shall keep landscape materials healthy, neat and orderly in appearance, and free of litter and debris. Landscape materials that die or that, in the opinion of the Planning Director, are diseased, shall be replaced by the property owner or property owners' association.
5. Streetlights.
- a. Streetlights shall be provided for automobiles on all public streets, spacing as recommended by the Planning Director. See DOD Design Guidelines.

- b. Separate streetlights shall be provided for pedestrians. Average spacing shall be a maximum of 60 feet on center. See DOD Design Guidelines.
- 6. Escrow in Lieu of Improvements.
 

At the option of the Town, the developer may be required to pay funds into an escrow account in lieu of making project improvements required in this Ordinance. Such escrow account shall be established only for the purpose of coordination of such project improvements with a public improvement project that is part of an approved Capital Improvements Program. The amount of the escrow fund shall be established by the Planning Director based on the projected construction cost of the improvements, based on the most recent edition of Georgia Department of Transportation "Item Means Summary" or other comparable standardized cost estimation procedure.

## **12.6 Tier I - Downtown Core**

- A. Purpose.
 

Tier I provides for the adaptive reuse, infill and redevelopment of sites to form a central core of mixed uses for Downtown Braselton that conforms to consistent and harmonious design standards for public improvements and private property development so as to unify the distinctive visual quality of the Historic Downtown.
- B. Permitted Uses.
  - 1. All uses permitted in the Neighborhood Commercial District except as prohibited in Subsection D below, subject to the requirements of Section 6.2 of the Town of Braselton Development Code.
  - 2. Mixed-use buildings with commercial uses on ground floor and offices or residences on upper floors.
- C. Conditional Uses.
  - 1. Outdoor display of merchandise for sale within principal ground floor use.
  - 2. Outdoor food service for eating and drinking establishments.
  - 3. Standards for approval.
    - a. Outdoor display and food service may not interfere with the circulation of pedestrians and autos along public right-of-way.
    - b. Outdoor display or food service area may not exceed 10 percent of the total sales area or food service area of the principal use to which it is related.
- D. Prohibited Uses.
  - 1. Automobile Gas Station and Convenience Store.
  - 2. Automobile Service Station.
  - 3. Car Wash.
  - 4. Telecommunications Facilities.
  - 5. Utility Company Substation.
- E. Architectural Prototypes.
 

Principal Buildings within Tier I of the DOD shall be designed in substantial conformity with the following architectural prototypes, as set forth in the DOD Design Guidelines.

  - 1. One-story mercantile
  - 2. Two/three story mercantile.
- F. Development Standards
  - 1. Density: maximum 20,000 sq. ft. gross floor area per net acre.
  - 2. Minimum lot size: 5,000 sq. ft.
  - 3. Maximum lot size: 100,000 sq. ft.

4. Minimum lot width: 20 ft.
5. Front yard setback: maximum 5 feet. No parking except approved on-street parking shall be permitted in front yard.
6. Side yard setback: minimum 0 feet where buildings meet applicable building and fire codes and a maximum of 50 feet.
7. Spacing between detached buildings: minimum 15 feet.
8. Building height: maximum 3-stories.
9. Building length: maximum 150 feet.
10. Building facades shall contain architectural modulations at an interval not to exceed 50 feet. See DOD Design Guidelines.
11. Maximum impervious surface: 75 percent.
12. Transition and buffers: Provide a 25-foot deep landscaped buffer along the property line abutting residential zoning districts.
13. Environmental standards:
  - a. BMPs. Stormwater management design shall incorporate BMPs designed to protect water quality, as provided by the Town of Braselton and the State of Georgia.
  - b. Parking Lot Landscaping. See DOD Design Guidelines.
    - (1) Parking lots shall incorporate landscaped areas covering at least 15 percent of the surface area.
    - (2) Except where determined to be infeasible by the Planning Director, landscaped islands in parking lots shall be constructed as stormwater bioretention areas with a grade level that is recessed at least 4 in. below the grade of the adjacent paved surfaces. Curbs separating recessed landscaped median islands from parking areas shall be either flush with the paved surface or notched at intervals of 4 ft. to allow stormwater runoff to pass through them into the landscaped areas for bioretention.
    - (3) Landscape materials in parking lot landscape islands shall be selected to be appropriate for the bioretention function of the landscaped areas, and adequate drainage shall be provided for the chosen species. Recommended plant species are shown in the table below. Additional appropriate species are authorized if listed in the most recent edition of the Georgia Stormwater Management Manual, as it may be amended from time to time.

**Table 12.6.1. Approved Plant Species for Bioretention Areas in Parking Lots**

Trees	Shrubs	Herbaceous Plants
Red Maple	Bottlebrush Buckeye	Broom sedge
River Birch	Red Chokeberry	Joe Pye Weed
Eastern Red Cedar	Fothergill	Day Lily
Golden Rain Tree	Witch Hazel	Yellow Iris
Black Gum	Common St. Johns Wort	Cardinal Flower
London Plane-Tree	Inkberry	Switchgrass
Sycamore	Winterberry	Fountaingrass
Pin Oak	Creeping Juniper	Greenhead Coneflower
Willow Oak	Spicebush	Woolgrass
Black Willow	Bayberry	Ironweed

*Source: Georgia Stormwater Manual, Volume 2, Appendix F, Table F-4, page F-20.*

- G. Parking Requirements. Off-street parking shall be required as in Article 10.7 of the Braselton Development Code, except as provided below:
1. Minimum required for commercial uses and services.
    - a. Commercial, retail, and service uses: 1 space per 300 sq. ft.
    - b. Restaurants, full service: 1 space per 75 sq. ft. of seating area.
    - c. Accessory commercial uses: 1 space per 300 sq. ft.
    - d. Professional Office Uses: 1 space per 300 sq. ft.
  2. Shared parking.
    - a. Shared parking may be permitted by the Town Manager or his/her designee if the applicant satisfactorily demonstrates that the actual peak parking requirements of the proposed development or use can be satisfied with a lesser number of parking spaces through sharing adjacent parking for two or more proximate uses because peak demand periods for proposed land uses do not occur at the same time periods.
    - b. Developers requesting reductions based on shared parking shall submit the following:
      - (1) Site plan indicating the location of uses proposing to share parking requirements and design of shared parking facilities.
      - (2) Names and addresses of the owners and uses that share parking.
      - (3) Location and number of parking shared spaces.
      - (4) A cross-access legal agreement between owners to assure the continued availability of adequate parking.
      - (5) A shared parking analysis that shall follow the procedures detailed in the paragraph below.
        - i. Determine the minimum amount of parking required for each separate use in Subsection G.1.
        - ii. Multiply the parking requirement for each use by the corresponding percentage for each of the time periods in the table below.
        - iii. Sum the total parking requirements for all uses for each of the five time periods in the table below.

- iv. The parking requirement for the time period having the largest required total number of parking spaces based on use of the table below shall be the minimum required number of parking spaces for the development.

**Table 12.6.2. Parking Ratios by Use and Time of Day for Mixed-Use Developments**

Uses	Weekdays		Weekends		Night Time
	6 a.m. to 5 p.m.	5 p.m. to 1 a.m.	6 a.m. to 5 p.m.	5 p.m. to 1 a.m.	1 a.m. to 6 a.m.
Office	100%	10%	10%	5%	5%
Retail	60%	90%	100%	70%	5%
Hotel	75%	100%	75%	100%	75%
Restaurant	50%	100%	100%	100%	10%
Entertainment/ Recreational	40%	100%	80%	100%	10%
Church	50%	50%	100%	100%	10%

- (6) Any subsequent change in land uses within the participating developments shall require proof that adequate parking will be available. Prior to any change in ownership or use, the owner must apply to the Town Manager or his/her designee for an evaluation and confirmation of the reduction. If the Town Manager or his/her designee finds that the parking reduction is no longer justified, the Town Manager or his/her designee shall notify the owner to construct the number of parking spaces necessary to meet the required level.
3. On-street parking.
- The Planning Director may approve credit for on-street parking spaces provided on streets classified as local streets as a means to reduce the off-street parking requirements for a parcel.
  - The number of on-street parking spaces credited for a parcel shall not exceed the number of ft. of linear frontage of the parcel along local streets (not including frontage devoted to driveways) divided by the constant 24.
4. Maximum number of parking spaces.
- Maximum parking requirements are established in order to promote efficient use of land, enhance urban form, encourage alternate modes of transportation, provide for better pedestrian movement, reduce the amount of impervious surface and protect air and water quality.
  - The maximum number of parking spaces that may be constructed shall be no more than 125 percent of the minimum number of required parking spaces. Parking spaces in excess of 105 percent of the minimum required spaces shall be constructed on pervious surfaces recommended in paragraph 7.b., below.
5. Screening.
- Where a parking lot is adjacent to a street or public right-of-way, the parking lot shall be screened from the right-of-way by a brick, stone or textured concrete masonry unit wall, or by a fence constructed of masonry piers with iron pickets or solid wood pickets. Wall or fence shall not be less than 3 feet nor more than 5 feet in height. See DOD Design Guidelines.

6. Pedestrian circulation.
 

Parking areas shall be designed to facilitate safe and convenient use by pedestrians. Commercial and multi-family developments shall provide designated pedestrian pathways or sidewalks at least 6 feet wide connecting the front entrance of the principal building to the sidewalk along the abutting street, including marked crosswalks across interior driveways.
  7. Paving materials for parking lots.
    - a. All parking areas shall be paved with asphalt, concrete or pervious materials approved by the Town Manager or his/her designee.
    - b. Pervious paving. Recommended pervious paving materials include those described in Volume 2 – Technical Handbook of the Georgia Stormwater Management Manual (First Edition, August 2001) as the Porous Concrete or Modular Porous Paver Systems under the Limited Application Stormwater Structural Controls.
    - c. Paving areas shall be of sufficient size and strength to support the weight of service vehicles.
- H. Access management.
1. Driveways.
 

Driveway connections to public streets shall be consistent with the following standards:

    - a. Driveway connections shall not be permitted within the limited access zone of an intersection. See DOD Design Guidelines.
    - b. On arterial streets driveways shall not be located within 150 ft. of the curb line of an intersecting street.
    - c. On collector streets driveways shall not be located within 100 ft. of the curb line of an intersecting street.
    - d. On local streets, driveways shall not be located closer than 50 ft. from the curb line of an intersecting street.
    - e. Driveways on the same side of a public street shall be spaced a minimum of 200 ft. apart on center.
    - f. Out parcels with less than 200 ft. of road frontage are restricted to internal access only.
    - g. Driveways shall intersect roads or streets at an angle between 75 and 105 degrees.
    - h. Driveways that enter a major thoroughfare at traffic signals must have at least two outbound lanes (one for each turning direction) of at least 11 ft. in width, and one inbound lane with a maximum width of 11 ft.
    - i. No residentially developed property may have a curb cut in excess of 30 ft. in width, and no non-residential property may have a curb cut in excess of 40 ft. without approval of the Planning Director.
    - j. Except for single-family and two-family residences, driveway grades shall conform to the requirements of the GDOT Design Standards.
    - k. Except where driveways are on opposite sides of a raised median, driveways shall either directly align or have offsets of a minimum of 125 ft., as measured between the centerlines.
    - l. Whenever possible, driveways on undivided arterials, collector streets or local streets should align with driveways (if any) on the opposite side of such street.

2. Interparcel access.
  - a. Interparcel access, joint driveways, cross access drives and access easements shall be provided for adjacent development along an arterial or collector street, except where the Planning Director determines that they are unfeasible because of topographic or other site-specific constraints.
  - b. Joint driveways and cross access easements shall be established for non-residential development that abuts other non-residential development, whether existing or planned. The building site shall incorporate the following:
    - (1) Continuous cross-access drive located in a cross-access easement, where necessary to connect adjacent parcels along the thoroughfare.
    - (2) A design speed of 15 mph and a two-way travel aisle with a minimum paved width of 22 ft. (back of curb to back of curb). Paving, base and curb specifications shall meet standards of public streets.
    - (3) Driveway aprons, stub-outs and other design features to indicate that abutting properties may be connected to provide cross access via a service drive.
    - (4) A 5 ft. wide sidewalk is required on one side of the cross-access drive.
  - c. New commercial property that abuts residential property shall provide for a 5 ft. wide sidewalk connecting the two uses.
  - d. New residential development that abuts commercial property shall provide for a 5 ft. wide sidewalk connecting the two uses.
- I. Loading Docks.
 

Loading docks shall be located in rear yards and screened from view from abutting streets and residentially zoned property by an opaque wall or fence not less than 8 ft. high.
- J. Underground Utilities.
  1. For all new construction and redevelopment, utilities along public streets must be placed underground.
  2. The Planning Director may approve an exception, if subsurface rock or other unique hardship makes such installation unfeasible.
- K. Dumpsters.
  1. Location.
 

Dumpsters shall be enclosed either within a building and out of sight from public streets or located outside to the rear of the principal building in an enclosure as prescribed in Paragraph 3 of this Subsection K.
  2. Pad
    - a. Dumpsters shall be placed on concrete pads of sufficient size and strength to support the weight of service vehicles.
    - b. Restaurants and other food service establishments shall place dumpsters on concrete pads that are designed to slope into a drain that is equipped with a grease trap.
  3. Screening.
 

Dumpsters shall be screened by a masonry wall enclosure that is a minimum of 8 ft. in height, accessed by a steel gate.
- L. Lighting
  1. Lighting in parking lots.
 

Parking lots containing 5 or more spaces shall be properly illuminated for the safety and security of pedestrians and vehicles. Parking area lighting shall

provide an average illumination of between 0.5 foot candles and 2.0 footcandles. Light fixture shall be approved by the Director.

2. Outdoor lighting shall use only metal halide, cut-off luminaire fixtures mounted in such a manner that its cone of light is directed downward and does not cross any property line of the site. The method and construction of outdoor lighting shall shield the light source from direct view from any adjacent property or right-of-way.

M. Signs.

Sign permit requirements and the type, number, location and size of signs in the Downtown Overlay District shall be as provided in Article XVII of the Town of Braselton Development Code, except as provided below:

1. Freestanding signs are prohibited in Tier I except for incidental signs that are no larger than 6 square feet in area and no more than 4 feet in height.
2. Internally illuminated signs are prohibited.
3. Marquee signs up to 8 square feet in area are permitted subject to the DOD Design Guidelines.
4. Roof signs are prohibited.
5. Illuminated signs shall use external lighting fixtures mounted above the sign face and directed downward toward the sign face so that light fixtures do not cast light or glare into public streets or adjacent property.

N. Landscaping of Lots.

1. A minimum of 75 percent of front yard area shall consist of sidewalks, benches, tables, plazas or other hardscape features approved by the Director.
2. Tree preservation and replacement shall result in at least 6 hardwood trees per acre (minimum 2" caliper dbh) on each lot.
3. A single species of trees may be used for no more than 25 percent of the total number of new trees planted in a development.

## 12.7 Tier II - Downtown Transition

A. Purpose

Tier II provides development guidelines for parcels developed with newer buildings adjacent to the downtown core and provides for a transition between the buildings in the DOD and property outside the DOD.

B. Permitted Uses.

1. All uses permitted in the Neighborhood Commercial District, except those prohibited uses listed in Subsection D, below, subject to the requirements of Section 6.2 of the Town of Braselton Development Code.
2. Mixed-use buildings with commercial uses on ground floor and offices or multi-family residential uses on upper floors. See DOD Design Guidelines.
3. Single-family detached dwellings. See DOD Design Guidelines.
4. Single-family attached, fee simple dwellings. See DOD Design Guidelines.

C. Conditional Uses.

1. Outdoor display of merchandise for sale within principal ground floor use.
2. Outdoor food service for eating and drinking establishments.
  - a. Standards for approval.
    - (1) Outdoor display and food service may not interfere with pedestrian or vehicular circulation.

- (2) Outdoor display or food service area may not exceed 10 percent of the total sales area or food service area of the principal use to which it is related.
- D. Prohibited Uses.
1. Automobile Gas Station and Convenience Store.
  2. Automobile Service Station.
  3. Telecommunications Facilities.
  4. Utility Company Substation.
- E. Architectural Prototypes.
- Principal Buildings with Tier II of the DOD shall be designed in substantial conformity with the following architectural prototypes, as illustrated in the DOD Design Guidelines:
1. Commercial.
    - a. One-story mercantile.
    - b. Two story mercantile.
    - c. 1- Story Country Store.
    - d. 2 - 2-1/2 Story Mill Building.
    - e. 1 – 2 Story Barn Building.
  2. Residential.
    - a. Mixed-use buildings with commercial uses on ground floor and offices or multi-family residential uses on upper floors. See DOD Design Guidelines.
    - b. Single-family detached dwellings. See DOD Design Guidelines.
    - c. Single-family attached, fee simple dwellings. See DOD Design Guidelines.
- F. Development Standards for Non-Residential Development.
1. Density: maximum 15,000 sq. ft. gross floor area per net acre.
  2. Minimum lot size: 20,000 sq. ft.
  3. Maximum lot size: 120,000 sq. ft.
  4. Minimum lot width: 100 ft.
  5. Minimum front yard setback: 25 feet or less if compatible with adjacent historic buildings.
  6. Maximum front yard setback: 60 ft. No more than 25% of required parking shall be permitted in front yard.
  7. Side yard setback: minimum of 0 ft. where buildings meet Fire Codes and maximum of 50 ft.
  8. Building height: maximum 2-1/2 stories.
  9. Building length: maximum 150 feet.
  10. Minimum spacing between buildings: 20 feet.
  11. Building facades shall contain architectural modulations at intervals not to exceed 50 feet.
  12. Maximum impervious surface: 75 percent.
  13. Transition and buffers: Provide a 25-foot landscaped buffer along the property line abutting residential zoning districts.
- G. Environmental Standards.
1. BMPs. Stormwater management design shall incorporate BMPs designed to protect water quality, as provided by the Town of Braselton or the State of Georgia.
  2. Parking Lot Landscaping. See DOD Design Guidelines.

- a. Parking lots shall incorporate landscaped areas covering at least 15 percent of the surface area.
- b. Except where determined to be infeasible by the Director, landscaped islands in parking lots shall be constructed as stormwater bioretention areas with a grade level that is recessed at least 4 in. below the grade of the adjacent paved surfaces. Curbs separating recessed landscaped median islands from parking areas shall be either flush with the paved surface or notched at intervals of 4 ft. to allow stormwater runoff to pass through them into the landscaped areas for bioretention.
- c. Landscape materials in parking lot landscape islands shall be selected to be appropriate with the bioretention function of the landscaped areas, and adequate drainage shall be provided for the chosen species. Recommended plant species are shown in the table below. Additional appropriate species are listed in the Georgia Stormwater Management Manual, Volume 2, Appendix F, Table F.5 on page F-23.

**Table 12.7.1 . Approved Plant Species for Bioretention Areas in Parking Lots**

Trees	Shrubs	Herbaceous Plants
Red Maple	Bottlebrush Buckeye	Broom sedge
River Birch	Red Chokeberry	Joe Pye Weed
Eastern Red Cedar	Fothergill	Day Lily
Golden Rain Tree	Witch Hazel	Yellow Iris
Black Gum	Common St. Johns Wort	Cardinal Flower
London Plane-Tree	Inkberry	Switchgrass
Sycamore	Winterberry	Fountaingrass
Pin Oak	Creeping Juniper	Greenhead Coneflower
Willow Oak	Spicebush	Woolgrass
Black Willow	Bayberry	Ironweed

*Source: Georgia Stormwater Manual, Volume 2, Appendix F, Table F-4, page F-20.*

**H. Parking Requirements.**

Off-street parking shall be required as in Article 10.8 of the Braselton Development Code, except as provided below:

1. Minimum required for commercial uses and services.
  - a. Commercial, retail and service uses: 1 space per 300 sq. ft.
  - b. Restaurants, full service: 1 space per 75 sq. ft. of seating area.
  - c. Accessory commercial uses: 1 space per 300 sq. ft.
  - d. Professional office uses: 1 space per 300 sq. ft.
2. Shared parking.
  - a. Shared parking may be permitted by the Town Manager or his/her designee if the applicant satisfactorily demonstrates that the actual peak parking requirements of the proposed development or use can be satisfied with a lesser number of parking spaces through sharing adjacent parking for two or more proximate uses because peak demand periods for proposed land uses do not occur at the same time periods.
  - b. Developers requesting reductions based on shared parking shall submit the following:
    - (1) Site plan indicating the location of uses proposing to share parking requirements and design of shared parking facilities.

- (2) Names and addresses of the owners and uses that share parking.
- (3) Location and number of parking shared spaces.
- (4) A cross-access legal agreement between owners to assure the continued availability of adequate parking.
- (5) A shared parking analysis that shall follow the procedures detailed in the paragraph below.
  - i. Determine the minimum amount of parking required for each separate use in Subsection H.1 above.
  - ii. Multiply the parking requirement for each use by the corresponding percentage for each of the time periods in the table below.
  - iii. Sum the total parking requirements for all uses for each of the five time periods in the table below.
  - iv. The parking requirement for the time period having the largest required total number of parking spaces based on use of the table below shall be the minimum required number of parking spaces for the development.

**Table 12.7.2. Parking Ratios by Use and Time of Day for Mixed-Use Developments**

Uses	Weekdays		Weekends		Night Time
	6 a.m. to 5 p.m.	5 p.m. to 1 a.m.	6 a.m. to 5 p.m.	5 p.m. to 1 a.m.	1 a.m. to 6 a.m.
Office	100%	10%	10%	5%	5%
Retail	60%	90%	100%	70%	5%
Hotel	75%	100%	75%	100%	75%
Restaurant	50%	100%	100%	100%	10%
Entertainment/ Recreational	40%	100%	80%	100%	10%
Church	50%	50%	100%	100%	10%

- (6) Any subsequent change in land uses within the participating developments shall require proof that adequate parking will be available. Prior to any change in ownership or use, the owner must apply to the Town Manager or his/her designee for an evaluation and confirmation of the reduction. If the Town Manager or his/her designee finds that the parking reduction is no longer justified, the Town Manager or his/her designee shall notify the owner to construct the number of parking spaces necessary to meet the required level.
3. On-street parking.
    - a. The Planning Director may approve credit for on-street parking spaces provided on streets classified as local streets as a means to reduce the off-street parking requirements for a parcel. On-street parking spaces serving as required parking shall be within 500 ft. walking distance from the nearest entrance of the principal use on the parcel for which parking credit is received.
    - b. The number of on-street parking spaces credited for a parcel shall not exceed the number of ft. of linear frontage of the parcel along local streets (not including frontage devoted to driveways) divided by the constant 24.

4. Maximum number of parking spaces.
  - a. Maximum parking requirements are established in order to promote efficient use of land, enhance urban form, encourage alternate modes of transportation, provide for better pedestrian movement, reduce the amount of impervious surface and protect air and water quality.
  - b. The maximum number of parking spaces that may be constructed shall be no more than 125 percent of the minimum number of required parking spaces. Parking spaces in excess of 105 percent of the minimum required spaces shall be constructed on pervious surfaces recommended in Paragraph 7.b., below.
5. Screening.
 

Where a parking lot is adjacent to a street or public right-of-way, the parking lot shall be screened from the right-of-way by a brick, stone or textured concrete masonry unit wall or by a fence constructed of masonry piers with iron pickets or solid wood pickets. Wall or fence shall not be less than 3 feet nor more than 5 feet in height. See DOD Design Guidelines.
6. Pedestrian circulation.
 

Parking areas shall be designed to facilitate safe and convenient use by pedestrians. Commercial and multi-family developments shall provide designated pedestrian pathways or sidewalks connecting the front entrance of the principal building to the sidewalk along the abutting street, including marked crosswalks across interior driveways.
7. Paving materials for parking lots.
  - a. All parking areas shall be paved with asphalt, concrete or pervious materials approved by the Town Manager or his/her designee.
  - b. Pervious paving. Recommended pervious paving materials include those described in Volume 2 – Technical Handbook of the Georgia Stormwater Management Manual (First Edition, August 2001) as the Porous Concrete or Modular Porous Paver Systems under the Limited Application Stormwater Structural Controls.
  - c. Paving areas shall be of sufficient size and strength to support the weight of service vehicles.
- I. Access Management.
  1. Driveways.
 

Driveway connections to public streets shall be consistent with the following standards:

    - a. Driveway connections shall not be permitted within the limited access zone of an intersection. See DOD Design Manual.
    - b. On arterials, driveways shall not be located within 150 ft. of the curb line of an intersecting street.
    - c. On collectors, driveways shall not be located within 100 ft. of the curb line of an intersecting street.
    - d. On local streets, driveways shall not be located closer than 50 ft. from the curb line of an intersecting street.
    - e. Driveways on the same side of a public street shall be spaced a minimum of 200 ft. apart on center.
    - f. Driveways on opposite sides of the same street shall either directly align or have offsets of a minimum of 125 ft., as measured between the centerlines.
    - g. Out parcels with less than 200 ft. of road frontage are restricted to internal access only.

- h. Driveways shall intersect roads or streets at an angle between 75 and 105 degrees.
- i. Driveways that enter a major thoroughfare at traffic signals must have at least two outbound lanes (one for each turning direction) of at least 11 ft. in width, and one inbound lane with a maximum width of 11 ft.
- j. No residentially developed property may have a curb cut in excess of 30 ft. in width, and no non-residential property may have a curb cut in excess of 40 ft. without approval of the Planning Director.
- k. Except for single-family and two-family residences, driveway grades shall conform to the requirements of the GDOT Design Standards.
- l. Driveway throat length. The length of a driveway or “throat length” for a commercial or office development shall be designed in accordance with the vehicle storage required for entering and exiting vehicles to prevent vehicles from backing into the flow of traffic on the public street or causing unsafe conflicts with on-site vehicle circulation. The throat lengths specified in the table below are generally acceptable guidelines intended for the major entrance driveway of a commercial development.

**Table 12.7.3: Minimum Driveway Throat Length for Commercial Centers**

<b>Commercial Center Total Gross Floor Area</b>	<b>Throat Length of Principal Driveway**</b>
Under 25,000 square feet	40 feet – 60 feet
25,000 -50,000 square feet	60 feet – 85 feet
51, 000 - 100,000 square feet	*85 feet – 135 feet
101,000 – 150,000 square feet	*135 feet – 180 feet
151,000 – 200,000 square feet	*180 feet – 200 feet
Over 200,000 square feet	*200 feet or more
Notes:  * Seek warrant for traffic signal  ** For driveways that allow right turns only the throat length may be reduced by one third.	

J. Loading Docks.

Loading docks shall be located in rear yards and screened from view from abutting streets and residentially zoned property by an opaque wall or fence not less than 8 ft. high.

K. Dumpsters.

1. Location.

Dumpsters shall be enclosed either within a building and out of sight from public streets or located outside to the rear of the principal building in an enclosure as prescribed in paragraph 3 of this subsection K.

2. Pad

a. Dumpsters shall be placed on concrete pads of sufficient size and strength to support the weight of service vehicles.

b. Restaurants and other food service establishments shall place dumpsters on concrete pads that are designed to slope into a drain that is equipped with a grease trap.

3. Screening

Dumpsters shall be screened by a masonry or solid wood wall enclosure that is a minimum of 8ft. in height, accessed by a steel gate.

L. Lighting.

Lighting in parking lots.

1. Parking lots containing 25 or more spaces shall be properly illuminated for the safety and security of pedestrians and vehicles. Parking area lighting shall provide an average illumination of between 0.5 footcandles and 2.0 footcandles.

2. Lighting shall be designed to preclude light spillover on to adjacent properties.

3. Parking areas abutting residential uses shall use only metal halide, cut-off luminaire fixtures mounted in such a manner that its cone of light is directed downward and does not cross any property line of the site. The method and construction of outdoor lighting shall shield the light source from direct view from any adjacent property or right-of-way.

M. Signs.

Sign permit requirements and the type, number, location and size of signs in the Downtown Overlay District shall be as provided in Article XVII of the Town of Braselton Development Code, except as provided below:

1. Freestanding signs shall be permitted only where front yard setbacks are greater than 25 feet. Freestanding signs shall be monument signs or pedestal signs consistent with the DOD Design Guidelines, with a maximum height of 6 feet, not including embellishments.

2. Monument sign structures shall be constructed of the material compatible with the predominant material of the façade of the principal building.

3. Roof signs up to 24 square feet in area are permitted only on structures with pitched roofs and the height of a roof sign shall not extend more than 3 feet above the ridge line of the main roof structure.

4. Marquee signs up to 8 square feet in area are permitted subject to the DOD Design Guidelines.

5. Internally illuminated signs are prohibited.

6. Illuminated signs shall use external lighting fixtures mounted above the sign face and directed downward toward the sign face so that light fixtures do not cast light or glare into public streets or adjacent property.

- N. Landscaping of lots.
  1. A minimum of twenty percent of front yard area shall be landscaped. The remainder shall consist of sidewalks, benches, tables, plazas or other hardscape features approved by the Director. Additional shade tree plantings are encouraged in front yards.
  2. Tree preservation and replacement shall result in at least 6 hardwood trees per acre (minimum 2" caliper dbh) on each lot.
  3. A single species of trees may be used for no more than 25 percent of the total number of new trees planted in a development.
- O. Residential Design Standards.
 

In addition to following the DOD Design Guidelines, single-family residential developments containing more than 5 dwelling units shall meet the following standards:

  1. Identical or similar buildings may not be repeated more frequently than every sixth house along the same side of any block.
  2. Front-facing garages shall not be permitted for single-family detached residential dwellings.
  3. Front-facing garages shall not repeat the same garage door style more frequently than every third house along the same side of any block.
  4. All single-family detached dwelling units constructed after adoption of this Article shall be constructed on a raised masonry foundation.

## **12.8 Tier III – Downtown Conservation**

- A. Purpose.
 

Tier III establishes development and design guidelines for public improvements and private property development within the Historic District in order to encourage compatibility with existing buildings in downtown Braselton so as to unify the distinctive visual quality of the Historic Downtown.
- B. Permitted Uses.
  1. All uses permitted in the Neighborhood Commercial District, subject to the requirements of Section 6.2 of the Town of Braselton Development Code, except for the prohibited uses listed in Subsection D, below.
  2. Single-family detached dwelling units.
- C. Conditional Uses.
  1. Outdoor display of merchandise for sale within principal ground floor use.
  2. Outdoor food service for eating and drinking establishments.
  3. Standards for approval.
    - a. Outdoor display and food service may not be on public right-of-way and shall be limited to a zone parallel to the front façade and no more than 25 feet forward of the front façade.
    - b. Outdoor display or food service area may not exceed 10 percent of the total sales area or food service area of the principal use to which it is related.
- D. Prohibited Uses.
  1. Automobile Gas Station and Convenience Store.
  2. Automobile Service Station.
  3. Telecommunications Facilities.
  4. Utility Company Substation.

- E. Architectural Prototypes. Principal Buildings within Tier III of the DOD shall be designed in substantial conformity with the following architectural prototypes, as set forth in the DOD Design Guidelines:
  - 1. Commercial.
    - a. 1- Story Country Store.
    - b. 2 or 2-1/2 Story Mill Building.
    - c. 1 or 2- Story Barn Building
  - 2. Residential
    - a. single-family detached dwellings. See DOD Design Guidelines.
- F. Development Standards
  - 1. Density: maximum 10,000 sq. ft. gross floor area per net acre.
  - 2. Minimum lot size: 12,000 sq. ft.
  - 3. Maximum lot size: 120,000 sq. ft.
  - 4. Minimum lot width: 50 ft.
  - 5. Front yard setback: No less than that of the lot on the same block with the least setback.
  - 6. Maximum front yard setback: 60 ft., except that front yard setback shall be no more than that of the lot on the same block face that has the greatest front yard setback.
  - 7. Side yard setback: 0 feet where buildings meet Fire Codes; maximum 50 ft.
  - 8. No more than 25% of total parking spaces shall be permitted in front yard.
  - 9. Building height: maximum 2-1/2 stories, except that building height shall be no greater than the building on the same block face having the greatest height and no less than the building on the same block face having the least height.
  - 10. Ground floor area, per building: maximum 10,000 sq. ft. gross floor area, except that no building shall have a greater ground floor than the largest building on the same block face.
  - 11. Building length: maximum 150 feet.
  - 12. Minimum spacing between detached buildings: 15 feet.
  - 13. Maximum impervious surface: 50 percent.
  - 14. Transition and buffers. None, except that the Planning Director may require a landscaped buffer up to 25 feet deep along any property line in order to preserve the historic character of the district.
- G. Environmental Standards.  
Retain natural vegetation and topography to the maximum extent feasible.
- H. Parking
  - 1. No minimum parking requirements except as required by the Americans with Disabilities Act.
  - 2. The maximum number of parking spaces constructed with impervious materials shall be 10.
  - 3. Parking spaces in excess of 10 shall be constructed of gravel or pervious paving materials including gravel or other pervious paving materials described in Volume 2 – Technical Handbook of the Georgia Stormwater Management Manual (First Edition, August 2001) as the Porous Concrete or Modular Porous Paver Systems under the Limited Application Stormwater Structural Controls.

4. Parking lots with more than ten spaces shall be screened from adjacent property or right-of-way by a 3 ft. high dense, evergreen hedge. See DOD Design Guidelines.
- I. Loading Docks.  
Loading docks shall not be located in front yards and shall be screened by a fence or wall not less than 8 ft. high such that it is not visible from any public right-of-way or abutting property.
  - J. Dumpsters.
    1. Location.  
Dumpsters shall be enclosed either within a building and out of sight from public streets or located outside to the rear of the principal building in an enclosure as prescribed in paragraph 3 of this subsection J.
    2. Pad
      - a. Dumpsters shall be placed on concrete pads of sufficient size and strength to support the weight of service vehicles.
      - b. Restaurants and other food service establishments shall place dumpsters on concrete pads that are designed to slope into a drain that is equipped with a grease trap.
    3. Screening  
Dumpsters shall be screened from view by an enclosure that is a minimum of 8 ft. in height.
  - K. Lighting
    1. Lighting in parking lots.
      - a. Parking lots containing 5 or more spaces shall be properly illuminated for the safety and security of pedestrians and vehicles. Parking area lighting shall provide an average illumination of between 0.5 footcandles and 2.0 footcandles.
      - b. Outdoor lighting shall use only metal halide, cut-off luminaire fixtures mounted in such a manner that its cone of light is directed downward and does not cross any property line of the site. The method and construction of outdoor lighting shall shield the light source from direct view from any adjacent property or right-of-way.
  - L. Landscaping of Lots
    1. A minimum of twenty percent of front yard area shall be landscaped. The remainder shall consist of sidewalks, benches, tables, plazas or other hardscape features approved by the Director. Additional shade tree plantings are encouraged in front yards.
    2. Tree preservation and replacement shall result in at least 6 hardwood trees per acre (minimum 2" caliper dbh) on each lot.
    3. A single species of trees may be used for no more than 25 percent of the total number of new trees planted in a development.
  - M. Signs.  
Sign permit requirements and the type, number, location and size of signs in the Downtown Overlay District shall be as provided in Article XVII of the Town of Braselton Development Code, except as provided below:
    1. Freestanding signs shall be permitted only where front yard setbacks are greater than 25 feet. Freestanding signs shall be monument signs or pedestal signs consistent with the DOD Design Guidelines, with a maximum height of 6 feet, not including embellishments.

2. Monument sign structures shall be constructed of the material compatible with the predominant material of the façade of the principal building.
3. Roof signs up to 24 square feet in area are permitted only on structures with pitched roofs and the height of a roof sign shall not extend more than 3 feet above the ridge line of the main roof structure.
4. Marquee signs up to 8 square feet in area are permitted subject to the DOD Design Guidelines.
5. Internally illuminated signs are prohibited.
6. Illuminated signs shall use external lighting fixtures mounted above the sign face and directed downward toward the sign face so that light fixtures do not cast light or glare into public streets or adjacent property.

### **12.9 Procedures for Rezoning**

- A. After the effective date of this Ordinance, rezoning application procedures for property within the DOD shall be as provided in Article 18.11 of the Town of Braselton Development Code with the following modifications:
  1. All such rezoning applications shall be accompanied by six copies of a Concept Plan meeting the standards of Article 12.10.A.2.b, below.
  2. The Planning Director and the Planning Commission shall review and comment on the Concept Plan as a part of making recommendations regarding the Town Council's action on the application for rezoning of the property.
  3. If the rezoning application is approved by the Town Council, then such rezoning shall be conditioned to the applicant's developing in substantial conformity with the Concept Plan, including any modifications or conditions approved by the Town Council pursuant to its deliberations of the application.
- B. Modification of Concept Plan. The Director is authorized to approve minor changes in a concept plan that was approved at the time of rezoning, such as minor shifting of the location of streets, easements or incidental features of the plan, provided that such minor modifications:
  1. Do not increase densities;
  2. Do not change uses;
  3. Do not change building height by more than 5 ft.;
  4. Do not change the outside boundaries of the development tract; and
  5. Do not affect any change to a condition of zoning or require any deviation from the requirements of the Town of Braselton Development Code.
- C. Major Modifications.
  1. Any requested modification of a concept plan approved as a condition of zoning that does not meet the requirements of a minor modification in sub-Article B above shall be deemed a major modification.
  2. Major modifications in a concept plan approved as a condition of rezoning within the DOD shall require a new application subject to all the requirements of Chapter 18.11.1 of the Town of Braselton Development Code.

### **12.10 Procedures for Review and Approval of Land Development Applications.**

- A. After the effective date of this Ordinance, land development permit application procedures for property within the DOD shall be as provided in Articles XI, XV

and XVI of the Town of Braselton Development Code with the following modifications:

1. Pre-application Conference. Prior to filing an application for a development permit or preliminary plat approval, the applicant shall schedule a conference with the Planning Director to discuss the standards and procedures that apply.
2. Concept Plan Application.
  - a. Prior to application for preliminary plat approval, the developer shall submit six copies of a concept plan and submit an application, with the required fee, to the Planning Director on a form provided by the Department.
  - b. The Concept Plan shall be drawn to a designated scale of not less than 1 in. equals 100 ft. (1 in. = 100 ft.), certified by a professional engineer, landscape architect or land surveyor licensed by the State of Georgia, and presented on a sheet having a maximum size of 24 in. x 36 in., and one 8½ in. x 11 in. reduction of the plan. If presented on more than one sheet, match lines shall clearly indicate where the several sheets join. The concept plan shall represent the conceptual design of the property to be developed, as well as for all adjacent property that is within the developer's ownership or control. The concept plan shall include the following information:
    - (1) Boundaries of the entire property, with bearings and distances of the perimeter property lines.
    - (2) Total area of the property in acres.
    - (3) Approved zoning.
    - (4) Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
    - (5) Banks of streams, lakes and other water bodies.
    - (6) Delineation of any floodplain designated by the Federal Emergency Management Agency (FEMA), United States Geological Survey (USGS), or Town of Braselton; the delineation of any jurisdictional wetlands as defined by Section 404 of the Federal Clean Water Act.
    - (7) Approximate location and extent of any significant historic or archaeological feature, grave, object or structure marking a place of burial, if known, and a statement indicating how the proposed development will preserve the feature and provide access to it during and after construction.
    - (8) A delineation of all existing structures and whether they will be retained or demolished.
    - (9) Development density and lot sizes for each dwelling unit type.
    - (10) Designation of minimum lot areas and yards.
    - (11) Location, character and amount of development, by type of use.
    - (12) General location and arrangement of the applicable architectural prototypes to be used, consistent with this Article and the DOD Design Guidelines.
    - (13) Building use, location, square footage, density and building height for all parcels.
    - (14) Parking areas, points of access to public rights-of-way and vehicular and pedestrian circulation patterns within the subject property.

- (15) Indication that the property is served by public water and/or sewer or private water and/or septic field, with conceptual layout of utilities and location of all existing or proposed utility easements having a width of 10 ft. or more.
  - (16) Conceptual plans for drainage with approximate location and estimated size of all proposed stormwater management facilities and a statement as to the type of facility proposed.
  - (17) Public right(s)-of-way, any required or proposed improvements to the public right(s)-of-way and delineation of the existing centerline of all streets abutting the property, including dimensions from the existing centerline to the edge of the pavement and to the right-of-way.
  - (18) Width of right-of-way and paved Articles of all internal streets.
  - (19) Seal and signature of professional person preparing the plan.
3. Concept Plan Review. If the application is complete, the Planning Director shall review the concept plan with respect to its conformity to each of the standards and requirements of this Article. The Planning Director may take one of the following actions: approve the concept plan as submitted; approve with conditions; or disapprove the concept plan. The Planning Director's report shall document any conditions of approval, if approved, or reasons for disapproval, if disapproved.
  4. Approval. Concept plan approval shall be valid for no more than 180 days from the date of approval. After that time, if no site plan or preliminary plat is filed for the subject property, the concept plan approval shall be void.
  5. Resubmission. If the concept plan is disapproved or becomes void, the applicant shall not proceed with development activity until he/she resubmits a revised concept plan that meets the standards of this Article and addresses the reasons for disapproval in a manner that is satisfactory to the Planning Director and receives written approval from the Planning Director.
  6. Preliminary Plat Application. Following the approval of the concept plan, the applicant shall prepare a site development plan or preliminary plat for approval as provided in Articles XI and XVI of the Town of Braselton Development Code. The Director shall review such plans and plats for their consistency with this Article.
  7. Review of Construction Plans. The Planning Director shall review construction plans for development permits in the DOD with respect to their consistency with the preliminary plat and the conformity of the construction plans with each of the standards and requirements of this Article, the DOD Design Guidelines, and all other applicable Articles of the Town of Braselton Development Code.
  8. Final Plat. Following installation, approval, and acceptance by the Town of Braselton of all required site improvements, the applicant shall apply for final plat approval following the procedures of Article XVI of the Town of Braselton Development Code. Final plat approval and recording as required in Article XVI shall be accomplished prior to approval of building permits for individual sites.
  9. Building Plans. Following approval of site development plan, construction plans and recording of the final plat, if applicable, the applicant may submit final building plans for construction on individual lots with required fees.
    - a. Building plans shall include architectural drawings including building plans and elevations for each structure drawn by an architect registered in the State of Georgia at a scale not smaller than 1/8"=1'0", as well as sketches,

photos, material specifications and other relevant information for review. Such information shall be sufficient to illustrate conformity with all the requirements of this article, including the DOD Design Guidelines. At a minimum these drawings shall make clear the proposed structure's use, location, setback, massing, height, design, construction, appearance, materials of construction and the relationship of the foregoing features to those of the existing buildings and structures on the same parcel and all adjacent property.

- b. The Department will review building plans and architectural plans for conformity with the requirements of this Article, Building Codes, the DOD Design Guidelines, and other applicable requirements of the Town of Braselton Development Code.
  - c. The Planning Director shall certify compliance with the provisions of this Overlay District and the DOD Design Guidelines.
  - d. If the building plans are disapproved, the applicant shall not be authorized to receive building permits for any disapproved building plans until the building plans are resubmitted and approved by the Department.
10. Building Permits. Following approval of building plans by the Department, the applicant may apply for building permits based on approved plans. No building permits shall be issued prior to approval of building plans by the Department.
- B. Right-of-Way Dedication. If dedication of right-of-way or other land to Town of Braselton is required by this Article, acceptance by the Town shall be contingent on the developer submitting a metes and bounds description of the required right-of-way and transferring title to such land by deed to the Town prior to issuance of building permits.

### **12.11 Exceptions**

- A. The following forms of development activity are exempt from the application of this ordinance:
1. Completion of work subject to preliminary plats, site development plans, construction plans, building permits, or interior finish permits approved prior to the effective date of this Article.
  2. Improvements and additions that are made to single-family residences previously built in a subdivision of record with a final plat approved prior to enactment of this ordinance shall not be subject to the provisions of this DOD provided that such improvements and additions are limited to the following actions:
    - a. Additions of heated floor area less than 50 percent of the existing floor area; or
    - b. Construction of an accessory structure or garage not to exceed 500 square feet in floor area; or
    - c. Improvements to outdoor space, such as swimming pools, courts for basketball, tennis or handball, gazebos, trellises, patios, decks, balconies, and similar non-occupied structures.
  3. Construction of a single-family dwelling on an existing lot of record within a single family residential subdivision with final plat approved prior to enactment of this ordinance shall not be subject to the provisions of this DOD, provided that the new construction shall be of a similar floor area, materials and design as the single-family dwellings on adjacent lots in the same subdivision.

4. Replacement, reconstruction, restoration, or repair of a single-family dwelling that was destroyed or damaged by more than 50 percent of its ad valorem tax valuation, shall not be subject to the provisions of this DOD, provided that such dwelling is located on an existing lot of record within a single family residential subdivision with a final plat approved prior to enactment of this ordinance, and provided that the new construction shall be of a similar floor area, materials and design as the single-family dwellings on adjacent lots in the same subdivision.
5. Construction, rehabilitation, restoration, repair of a non-residential structure, interior renovations or interior finishes within an existing structure, or addition to an existing non-residential structure that was permitted prior to the enactment of this ordinance shall not be subject to the provisions of this DOD, provided that such construction is on a lot of record and does not affect a change to more than 20 percent of the existing permitted structure or 5,000 square feet, whichever is less.

#### **12.12 Severability**

If any provision of this Ordinance is deemed unconstitutional or unenforceable by a court of competent jurisdiction then the remainder of the Ordinance shall survive and be given full force and effect.



# Town of Braselton Downtown Overlay District

## DESIGN GUIDELINES

Adopted March , 2005

Jordan, Jones & Goulding, Inc.  
6801 Governors' Lake Parkway  
Norcross, GA 30071  
in association with  
Ward Seymour and Associates Architecture

## **TABLE OF CONTENTS**

---

### **PART 1: DESCRIPTION OF ARCHITECTURAL PROTOTYPES AND STANDARDS**

Country Store  
Mill Building, 2 - 2-1/2 Story  
Barn Building, 1- 2 Story  
Mercantile Building, 1 Story  
Mercantile Building, 2-3 Story  
Awnings  
Signs

### **PART 2: PUBLIC IMPROVEMENTS STANDARDS**

Figure 1 Arterial Street  
Figure 2 Collector Street  
Figure 3 Local Street  
Figure 4 Alley  
Figure 5 Multi-use Trail  
Figure 6 Tier I and III - Sidewalk and Street Landscaping Plan  
Figure 7 Tier II – Sidewalk and Street Landscaping Plan  
Figure 8 Street Lights  
Figure 9 On-Street Parking Plan (Collector Street)

### **PART 3: PROPERTY DEVELOPMENT STANDARDS**

Figure 10 Parking Lot Landscaping Plan  
Figure 11 Parking Lot Screening  
Figure 12 Intersection Access Control  
Figure 13 Country Store, 1-Story  
Figure 14 Mill/ Factory Building, 2 - 2-1/2 -Story  
Figure 15 Barn Building, 1 - 2 Story  
Figure 16 Mercantile, 1- Story  
Figure 17 Mercantile, 2-3 Story  
Figure 18 Mercantile Example  
Figure 19 Elements of Residential Design

---

Jordan, Jones & Goulding, Inc.

Town of Braselton  
Downtown Overlay District

DESIGN GUIDELINES

PART 1: DESCRIPTION OF ARCHITECTURAL PROTOTYPES  
AND STANDARDS

## ARCHITECTURAL PROTOTYPE: COUNTRY STORE

### {Figure 13}

---

- Description:** Modeled after early 20th century Country Store and Gas Station buildings that sprang up at rural intersections.
- Massing:** Single-occupant detached structure characterized by simple massing and materials and a dominant, sloped roof that shall be gabled or hipped.
- Height:** Single story, maximum of 25 feet.
- Width:** Maximum width facing street - 30 feet.
- Materials:** Primary exterior siding material to be wood or simulated wood siding product. Buildings with wood siding may use brick or natural stone for foundation walls and piers.
- Roof:** Single gabled or hipped roof shall cover the main structure with ridge perpendicular to street. Minimum foot roof overhang with soffit or exposed rafters.
- Minimum slope: 4/12, maximum slope 10/12.
  - Flat roof not permitted.
  - No dormers permitted.
  - Acceptable roof materials: Seamed metal, wood, asphalt or fiberglass shingles.
- Entrance:** Main entrance faces front of building.
- Porches:** A secondary gable or roof form is permitted for front entry porch or to shelter a driveway or parking area not more than 500 square feet in area.
- Fenestration:** On sides and rear of building, fenestration shall consist of small windows divided with multiple panes; each window not to exceed 20 square feet. On building front, fenestration shall consist of larger windows divided with multiple panes; each window not to exceed 50 square feet.
- Glazing:** Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.
- Signage:** Signage on the façade of the building shall consist of any of the following types: wall signs, roof signs, awning signs, hanging signs, Marquee signs, and window signs not to exceed a cumulative total of 60 square feet per building.

**ARCHITECTURAL PROTOTYPE: MILL/FACTORY BUILDING, 2 - 2 ½ STORY**

**(Figure 14)**

- Description:** Modeled after early 20th century rural mills and factory buildings that were used for ginning cotton, milling grain or other agricultural purposes. This type differs from the Barn Type because it may have more complex massing, more window openings of a larger size and more refined architectural detail and finishes.
- Massing:** The type consists of a main 2 to 2-1/2 story building mass with smaller attachments or wings connected to the central building mass.
- Height:** 2 or 2-1/2 stories with a maximum height of 45 feet.
- Width:** Maximum width facing street - 75 feet.
- Materials:** Primary exterior siding material to be wood or simulated wood siding product. Brick or natural stone may be used for foundation walls, freestanding piers or other structural elements of the building.
- Roof:** Main roof shall be a gable form. Wings or “additions” to the main roof may be shed or gable form.
- Minimum slope 6/12, maximum slope 12/12.
  - Dormers are permitted.
  - Acceptable materials – Seamed metal roof, wood shingle, asphalt or fiberglass shingles.
- Entrance:** Main entrance to be located on front or side of building.
- Porches:** Open “loading docks” may serve as porches for building if desired.
- Fenestration:** Fenestration shall consist of individual windows; each window not to exceed 25 square feet. On the first level of the building front, fenestration may utilize larger windows or grouped windows; each window not to exceed 50 square feet. Window openings shall not exceed 30% of the elevation. Large loading dock doors and openings at ground level are characteristic of the type. No arch top openings permitted.
- Glazing:** Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.
- Signage:** Signage on the building shall consist of any of the following types: wall signs, roof signs, marquee signs, hanging signs and window signs not to exceed a cumulative total of 150 square feet per building.

**ARCHITECTURAL PROTOTYPE: BARN, 1 - 2 STORY**  
**{Figure 15}**

---

- Description:** Modeled after rural barns that were the most dominant structures in the rural countryside. As commercial and retail buildings the Barn type buildings will help evoke images of the original rural nature of the Town. Barns are utilitarian in appearance with little ornament and simple detailing.
- Massing:** Defined by a single large building mass under a dominant single roof form. Up to two small sheds or appendages to the principal building are permitted, with a total area not to exceed 25% of total ground floor area.
- Height:** 1 or 2 stories with a maximum height of 35 feet.
- Width:** Maximum building width shall be 55 feet on principal street facade.
- Materials:** Primary exterior siding material to be wood or simulated wood siding product. Brick or natural stone piers might be used for foundation walls, freestanding piers or other structural elements of the building.
- Roof:** Main roof shall be gable or gambrel form. Shed or gable forms on small appendages.
  - Minimum slope 6/12, maximum slope 12/12
  - Dormers not permitted.
  - Acceptable materials – Seamed metal roof, wood shingle, asphalt, or fiberglass shingles.
- Entrance:** Main entrance to be located on front or side of building.
- Porches:** None.
- Fenestration:** Individual openings not exceeding 16 square feet in area shall be separated by at least two times the average width of adjacent openings. Cumulative area of openings shall not exceed 30% of façade elevation. Large central door openings may occur on the ends or sides of the building. No arch top openings are permitted.
- Glazing:** Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.
- Signage:** Signage on the façade of the building shall be limited to wall signs, roof signs, awning signs, marquee signs, hanging signs and window signs not

to exceed 64 square feet per tenant or a cumulative sign face area of 2 square feet per linear foot of building frontage, whichever is greater. Monument signs and pedestal signs are permitted in Tier II or when front yard set back of principal building exceeds 25 feet in each Tier.

## ARCHITECTURAL PROTOTYPE: MERCANTILE BUILDING, 1 STORY

### {Figure 16}

---

- Description:** Commercial architecture that is similar to turn of the century small town commercial architecture and is similar to the Historic Braselton Store. Type may be free standing but is often constructed with zero lot line setbacks at the sides and shares a party wall with adjacent modules. Large display windows dominate the front facade of the building with recessed entrance(s).
- Massing:** Simple massing with parapet walls concealing low slope roof beyond. Parapet walls may be stepped to follow sloping roof at sides and may have profiles at front to emphasize signage or ornament. Mercantile modules at corners of major intersections (one street shall be an arterial or collector) shall have two front elevations for the purposes of these design standards.
- Height:** Maximum one story and no more than 20 feet in height, including all parapet walls and signage.
- Width:** Maximum building width facing street – 50 foot module. See Figure 16 of DOD Design Guidelines. Modules can be connected with fire-rated party walls to form a single building up to 150 feet wide.
- Façade** Other than for recessed entrances within the module, columns, pilasters, cornices and
- Depth:** other projecting or receding elements of the façade shall vary by no more than 2 feet from the average face of the facade.
- Materials:** Primary exterior siding material to be unpainted brick or natural stone. Stucco, metal, wood or similar materials used for ornamental details are permitted but may comprise no more than 20% of the facade elevation.
- Roof:** Low, sloped roof concealed behind parapet walls from public streets.
- Parapet** Parapet walls may be between 2 feet and 5 feet above top of roof at front façade.
- Walls:** Parapets at side and rear will not exceed front parapet wall height.
- Entrance:** Main entrance shall be located on front of building. Entrance shall be recessed 3 to 6 feet back from front façade.
- Porches:** None at front elevation. Small porches permitted at side and rear entrances, not to exceed 35 square feet of covered porch area.

- Fenestration: Window and glazed door openings on the front elevation, including sashes, casings and mullions, shall comprise between 35% and 60% of the first floor elevation.
- The first floor wall area shall be measured horizontally from exterior corner to corner and vertically from the sidewalk or grade adjoining the building to the top of the roof beyond the parapet wall.
  - Side openings for doors and windows shall not exceed a total of 50 percent of side elevation.
- Glazing: Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.
- Signage: Signage on the façade of the building shall be limited to wall signs, awning signs, marquee signs, hanging signs and window signs not to exceed a cumulative sign face area of 1.5 square feet per linear foot of frontage of building, unit or tenant space. One side wall or rear wall of a detached building may be used for one painted sign not included in the cumulative total. Such painted sign is limited to no more than 15% of the side or rear elevation of the detached building on which it is applied. Roof signs are only permitted on gable or hip roofs. The length of a roof sign shall not exceed 50 feet of the length of the ridge of the roof on which it is located. The height of a roof sign shall not exceed one-third of its length.
- Awnings: Open, exposed frame fabric awnings only. See “Awnings.”

**ARCHITECTURAL PROTOTYPE: MERCANTILE BUILDING, 2 - 3 STORY**  
**{Figure 17}**

---

- Description:** Commercial building that is characteristic of turn of the century urban, commercial architecture. This is an ideal mixed use prototype for ground floor retail with commercial or residential occupancies on the upper floors. Buildings may be free standing but are often constructed with zero lot line setbacks at the sides and share a party wall with adjacent modules. Large display windows dominate the street level facade of the building with smaller individual openings at the upper levels.
- Massing:** Simple massing with parapet walls concealing low slope roof beyond. Parapet walls may be stepped to follow sloping roof at sides and may have profiles at front to emphasize signage or ornament. Mercantile buildings at corners of major intersections (one street shall be an arterial or collector) shall have two front elevations for the purposes of these design standards.
- Height:** The two-story building shall have a maximum height of 32 feet including all parapet walls.  
The three-story building shall have a maximum height of 44 feet including all parapet walls.
- Width:** Maximum width facing street - 50 foot module. See Figure 17 of DOD Design Guidelines. Modules can be connected with fire-rated party walls to form a single building up to 150 feet wide.
- Facade** Other than for recessed entrances within the module, columns, pilasters, cornices  
**Depth:** and other projecting or receding elements of the facade may vary by no more than 2 feet from the average face of the facade.
- Materials:** Primary exterior siding material to be unpainted brick or natural stone. Stucco, metal, wood or similar materials used for ornamental details are permitted but will occupy no more than 20% of the total facade area of a detached building, unit or tenant space.
- Roof:** Low sloped roof concealed behind parapet walls from public streets.
- Parapet Walls:** Parapet walls may be between 2 feet and 5 feet above top of roof at front facade. Parapets at side and rear will not exceed front parapet wall height.
- Entrance:** Main entrances into ground floor spaces shall be located on front of building. Entrances shall be recessed 3 feet - 6 feet back from front

facade to keep door swings out of sidewalk walking path. Entrances to lobbies for upper floors may be located at front sides or rear of the building.

**Porches:** None at front elevation. Small porches permitted at side and rear entrances. Covered porch area is not to exceed 35 square feet.

**Awnings:** Open, exposed frame fabric awnings only. Operable awnings encouraged.

**Fenestration:** Fenestration shall consist of window and glazed door openings including sashes, perimeter casings and mullions that are less than 12 feet in width.

1. First Floor

- Fenestration on the front elevation shall comprise between 35% and 55% of the first floor wall area. The first floor wall area shall be measured horizontally from exterior corner to corner and vertically from the sidewalk or grade adjoining the building to the finished floor of the second level of the building.
- Window glazing at the first floor shall be raised a minimum of 1'-6" above the sidewalk level.
- Fenestration on the sides and rear of the building shall not exceed 55% of the first floor elevation.

2. Upper Floors

- Fenestration on the upper floors shall consist of individual openings, single openings not to exceed 30 square feet, double openings not to exceed 54 square feet each.
- Windows shall be equally spaced or symmetrically arranged on the facade.
- Total area of fenestration on the front of the building shall be between 15% and 25% of upper floor wall area and shall not exceed 25% on side and rear elevations.
- Wall area is measured horizontally from exterior corner to corner and vertically from floor to floor or floor to top of roof as applicable.

**Bay Windows and rear and Balconies:** Not permitted on front elevations. No more than one permitted on side elevations. Balconies or bays shall not be greater than 3'-6" inches deep or greater than 7 feet wide.

**Glazing:** Reflective or heavily tinted glass is not permitted. Glazing shall allow clear view of interior space. Visible light transmission percentage shall not be less than 65%.

Signage:

Signage on the façade of the building shall be limited to wall signs, awning signs, marquee signs, hanging signs and window signs not to exceed a cumulative sign face area of 2.5 square feet per linear foot of frontage of a detached building, unit or tenant space. One side wall or rear wall of a building may be used for one painted sign not included in the cumulative total. Such painted sign is limited to no more than 10% of the side or rear elevation of the detached building on which it is applied.

## AWNINGS AND SIGNS

---

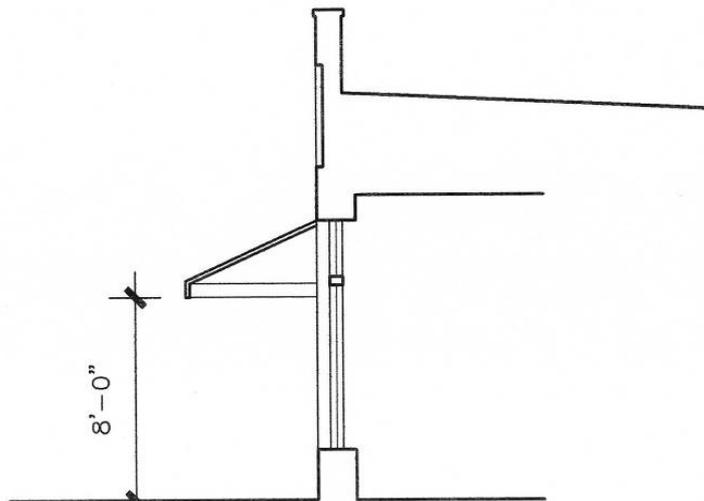
### Awnings

Awnings offer a way to unify a building, add color, and soften the hard lines of a streetscape. Awnings provide shelter from inclement weather, reduce glare, save energy, and protect from the sun. Awnings attract an attractive pedestrian environment. They add to the character of the façade and can serve as a unifying theme for the streetscape.



#### Awning Standards:

- Awnings for a building façade shall be of compatible color, look, shape, and height
- Canvas or acrylic materials are encouraged. Aluminum, wood, or plastic awnings are prohibited.
- The store name may be painted on an awning.
- Retractable awnings are encouraged, but fixed may be used.
- Awning hardware should not be visible.
- Awnings shall provide a vertical clearance no less than 8 feet above sidewalks, driveways or streets beneath the awnings.



## Signs

### Signs

Signs are a prominent visual element in the district. In addition to identifying individual businesses the design, size, number and placement of signs contributes to the overall street environment and character. A sign shall never be so large as to overpower a facade or obscure a building's architectural features. The most compelling and legible signs are often not the largest, the brightest, or the cleverest. In a downtown environment, a simple sign may be a more effective way of attracting business.

Good sign design considers all the following factors: layout and composition, materials, color, size, graphics, typeface, and installation. The size, shape, material, and colors of the sign and the buildings facade should be compatible and work together to advertise the business.

**Materials:** Signs shall be made of painted metal, painted wood or solid material that imitates wood, except that signs on awnings shall be silk screened or sewn onto the awning fabric. Plastic signage is not permitted.

**Illumination:** Signage shall be front lit by light fixtures placed above the sign and directed downward toward the face of the sign.  
Internally lit signs are not permitted.  
Neon signs are permitted if located behind storefront windows.  
Flashing lights are prohibited.

**Wall Signs:** Wall signs shall not cover or obscure the cornice, facade ornament, windows or similar building features or materials.  
The area directly above the storefront and transom windows and below the cornice provides an appropriate area to place an applied wall sign. Sometimes this area will be denoted by a patterned or relief brick design, or by architectural detailing, which defines the maximum width and height of the sign.

**Painted Signs:** Painted signs may be applied directly on either one side or the rear of the mercantile building types without counting as business signage. Locations and design of painted signs over 32 square feet shall be approved by the Director.

**Hanging Signs:** Hanging signs are suspended from an overhanging structure, such as a canopy or awning, just above eye level. Provide a minimum clearance of 8 feet above streets and sidewalks beneath the sign. When used, hanging signs shall be mounted perpendicular to the building facade near the business or lobby entrance, beneath an overhanging balcony, canopy or eave. Multi-tenant buildings are allowed one hanging sign for each tenant.  
Each hanging sign shall be no more than eight square feet in area.

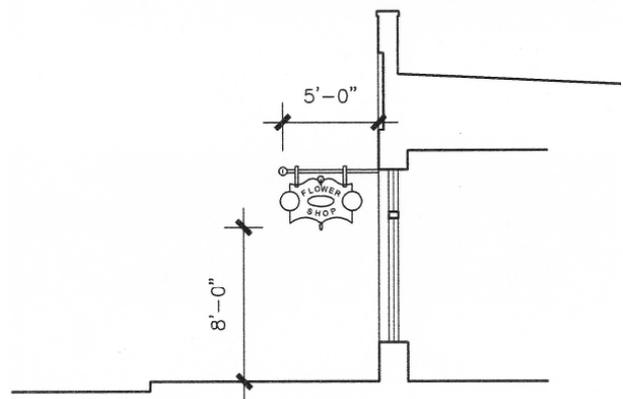
One additional hanging sign up to 20 square feet in size is permitted per building.

**Marquee Signs:**

Marquee signs are displayed perpendicular to the façade and suspended from a bracket or cantilevered structure attached to the wall.

Marquee signs shall have a minimum clearance of eight feet above the sidewalk, projecting no further than five feet from the face of the building.

Marquee signs are permitted no more than two sign faces of 20 square feet.



**Awning Signs:**

Signs may be sewn on to or applied to awnings. The lettering and/or graphics shall not occupy more than 30% of the surface plane on which it is applied.

Awning signs shall contain no more than two colors.

**Window Signs:**

Window signs are permitted in storefront display windows and glazed entry doors throughout the district. Permanent window signs are usually painted directly on the glass or constructed of applied vinyl letters.

Gold leaf can also be used to make elegant window and door signs and is encouraged for use to identify a building's street address. Neon or stained glass signs hanging on the interior of display windows are also an attractive alternative which maintains the transparency of the storefront area.

Permanent display window and entry door signs shall not occupy more than 15 percent of the total window opening on which they are mounted.

- Roof Signs: Roof-mounted signs are a permitted sign type when associated with the prototypes described in the DOD that require sloped roofs. Roof signs should not extend above the height of a sloped roof. Roof signs are not permitted on a flat roof. No more than one roof sign is permitted on any side of a sloping roof and no more than two roof signs are permitted per building. The maximum sign area of a roof sign shall be 32 square feet.
- Freestanding Signs: Monument signs consist of a low wall or pilasters forming a sign structure that supports two sign faces not to exceed 32 square feet each. The sign structure shall be constructed of the same material that is the predominant material used for the façade of the principal building on the same lot as the sign. Sign faces may be constructed of metal or wood, but plastic is not

permitted. The height of monument signs is limited to 6 feet, not including embellishments that may extend no more than 18 inches above the sign face.



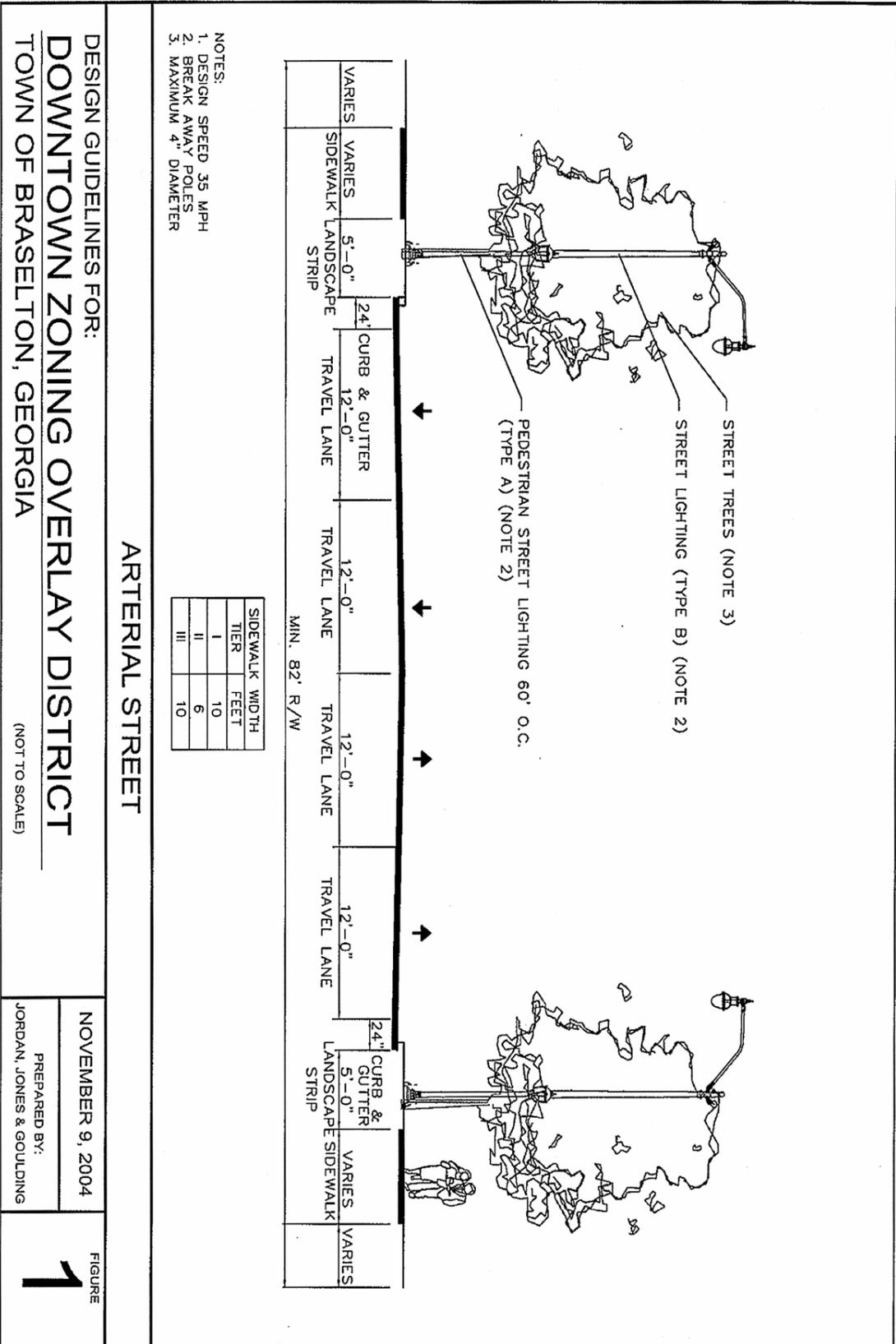
Pedestal signs are signs supported from a central pedestal base or cantilevered from a single wooden or iron support. Pedestal signs shall be made of metal or wood and consist of no more than 2 sides, having a maximum sign area of 20 square feet on each side. Maximum height of the sign face is 6 feet, not including embellishments that may extend no more than 12 inches above the sign face. Pedestal signs may be attached with a bracket to a lamp post, flag pole, or banner post provided the maximum height of the entire structure is 12 feet.



Town of Braselton  
Downtown Overlay District

DESIGN GUIDELINES

PART 2: PUBLIC IMPROVEMENTS STANDARDS



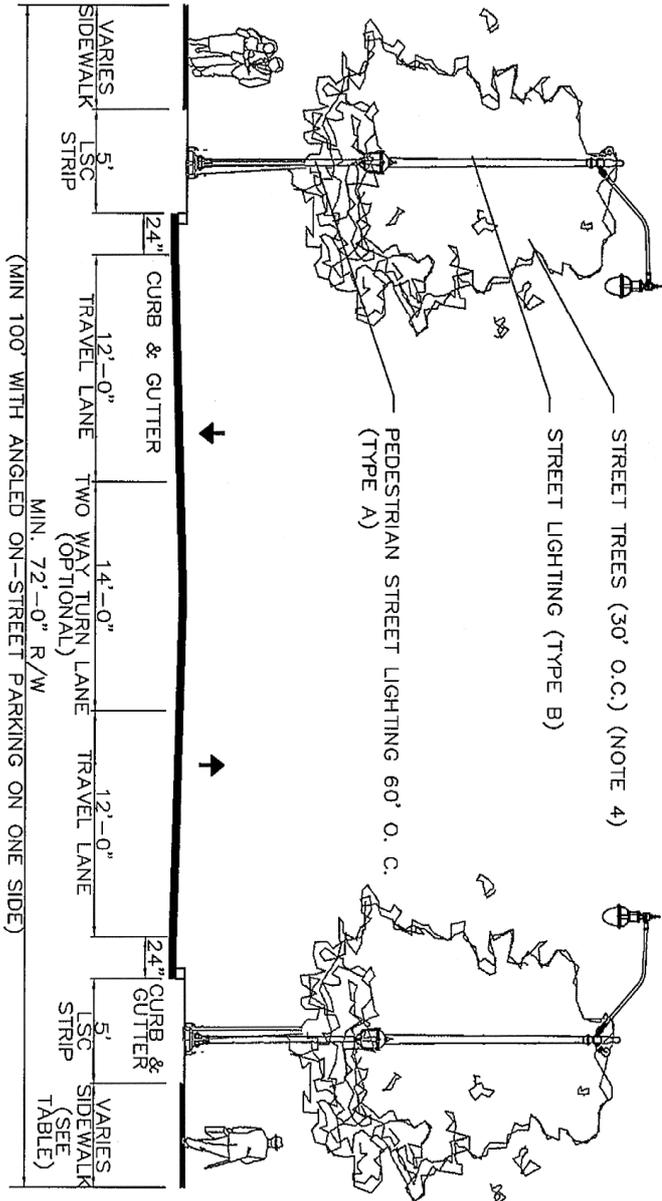
ARTERIAL STREET

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**1**

- NOTES:
1. DESIGN SPEED 30 MPH
  2. MAXIMUM STREET GRADE OF 6%
  3. BREAK AWAY POLES
  4. MAXIMUM 4" DIAMETER



SIDEWALK WIDTH	TIER	FEET
I	II	6
II	III	10

**COLLECTOR STREET**

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

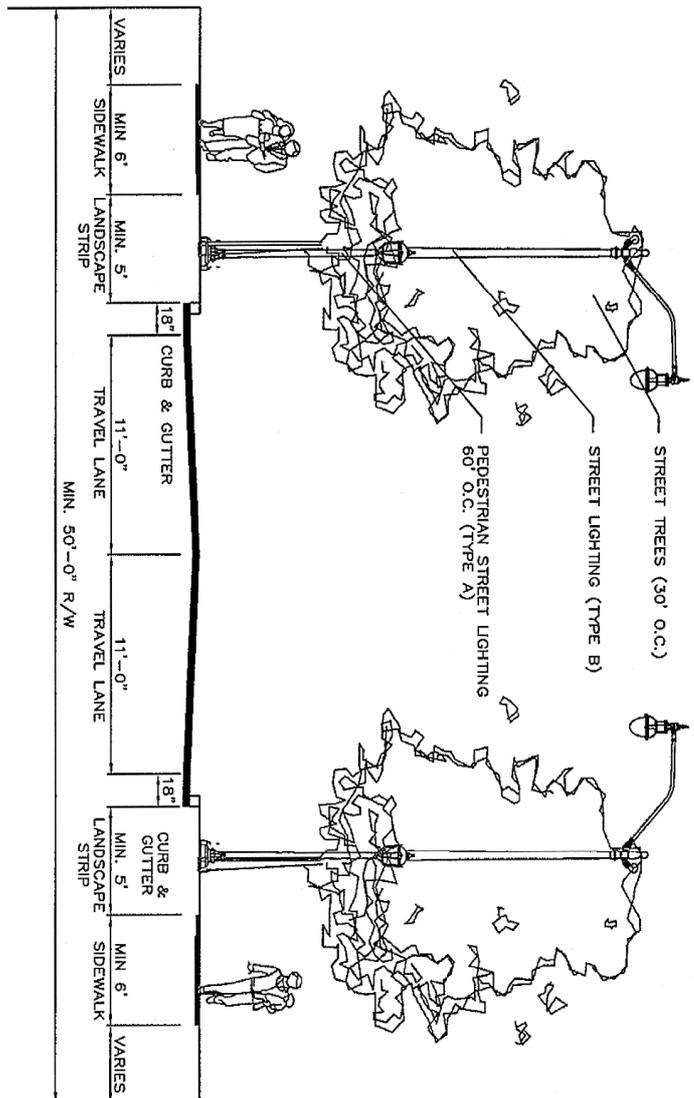
(NOT TO SCALE)

NOVEMBER 9, 2004

PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE

**2**



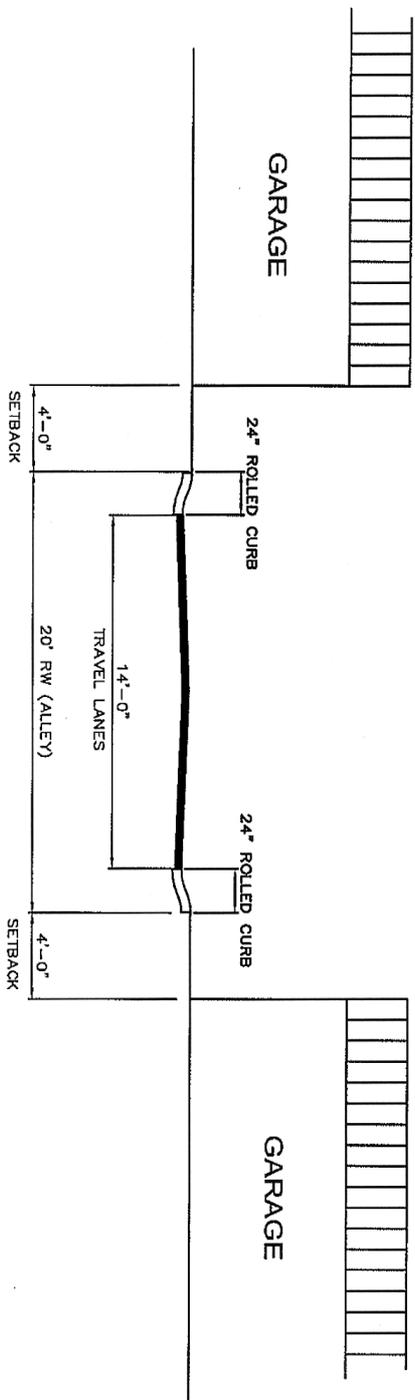
- NOTES:
1. DESIGN SPEED 25 MPH
  2. MAXIMUM STREET GRADE OF 8%

LOCAL STREET

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**3**

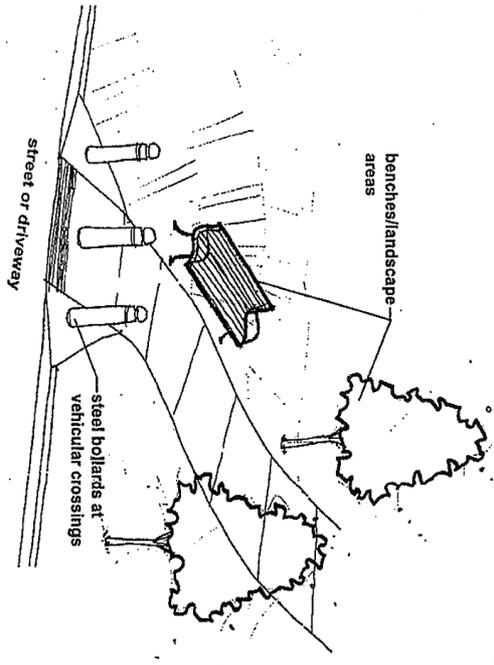


- NOTES:  
 1. UTILITY EASEMENTS AS REQUIRED BY DIRECTOR  
 2. MAXIMUM STREET GRADE OF 8%

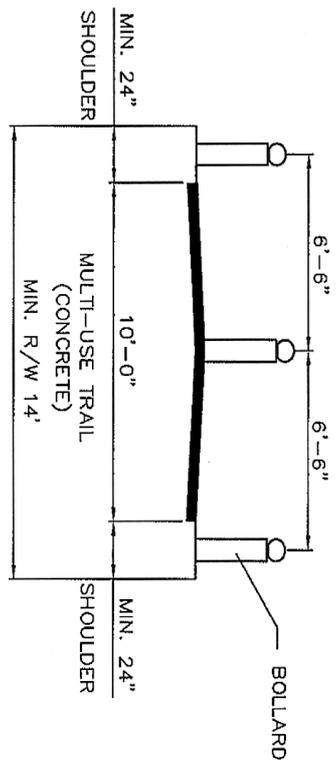
ALLEY

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004	FIGURE <b>4</b>
PREPARED BY: JORDAN, JONES & GOULDING	



- NOTES:
1. NO MOTORIZED VEHICLES EXCEPT GOLF CARTS
  2. MAXIMUM STREET GRADE OF 6%
  3. SHOULDER WIDTH VARIABLE BASED ON TOPOGRAPHY

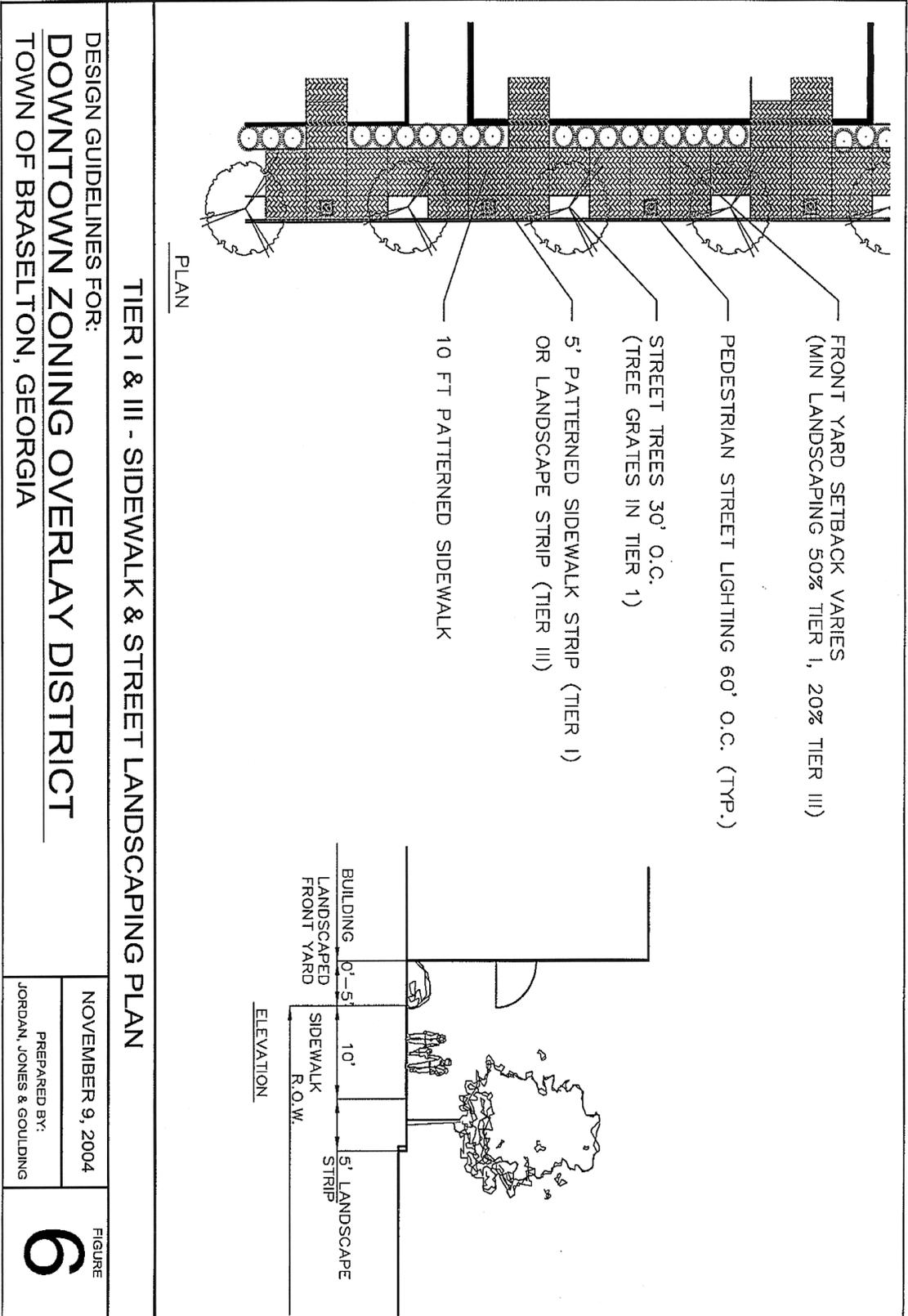


MULTI-USE TRAIL

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**5**



TIER I & III - SIDEWALK & STREET LANDSCAPING PLAN

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

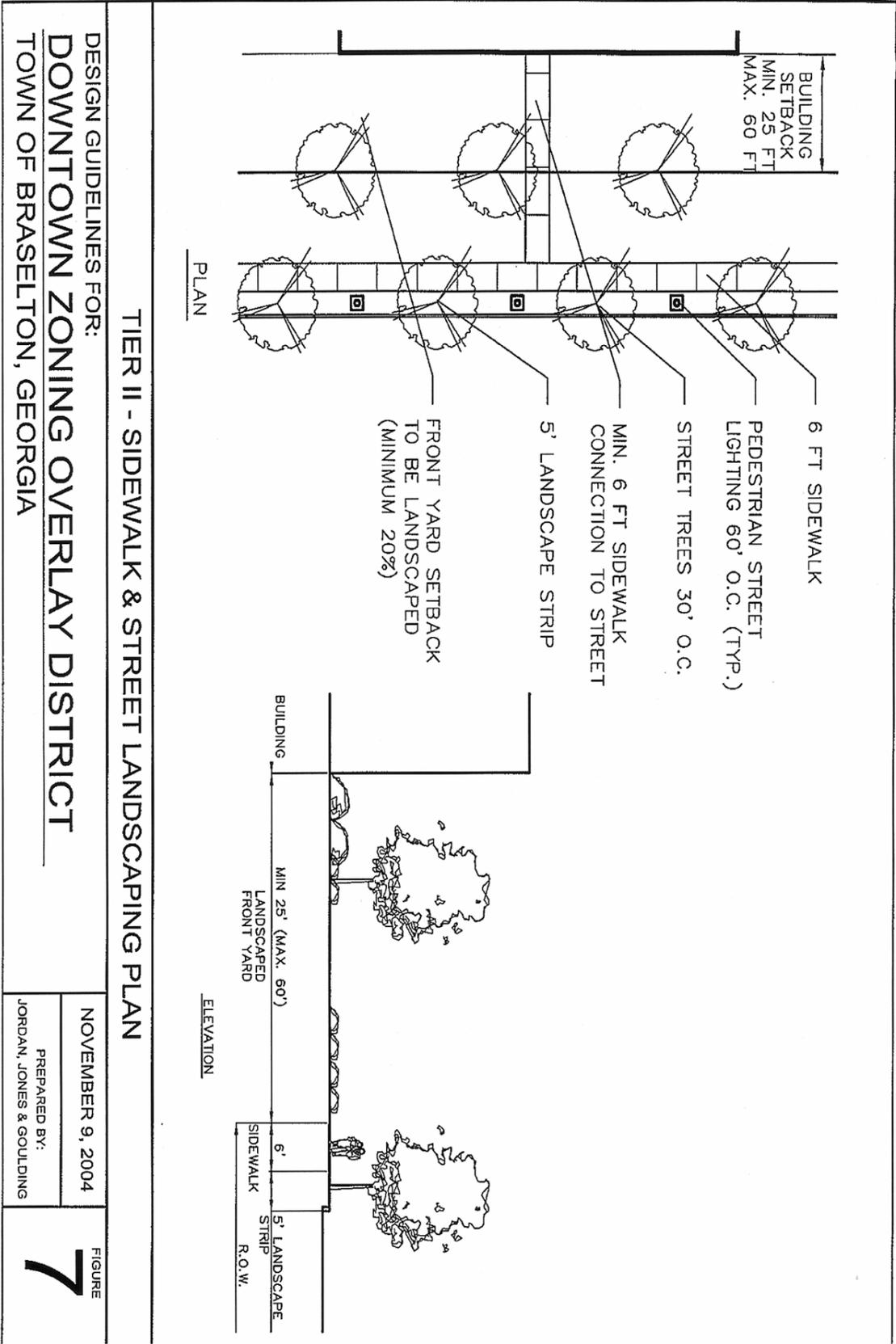
NOVEMBER 9, 2004

PREPARED BY:

JORDAN, JONES & GOULDING

FIGURE

**6**

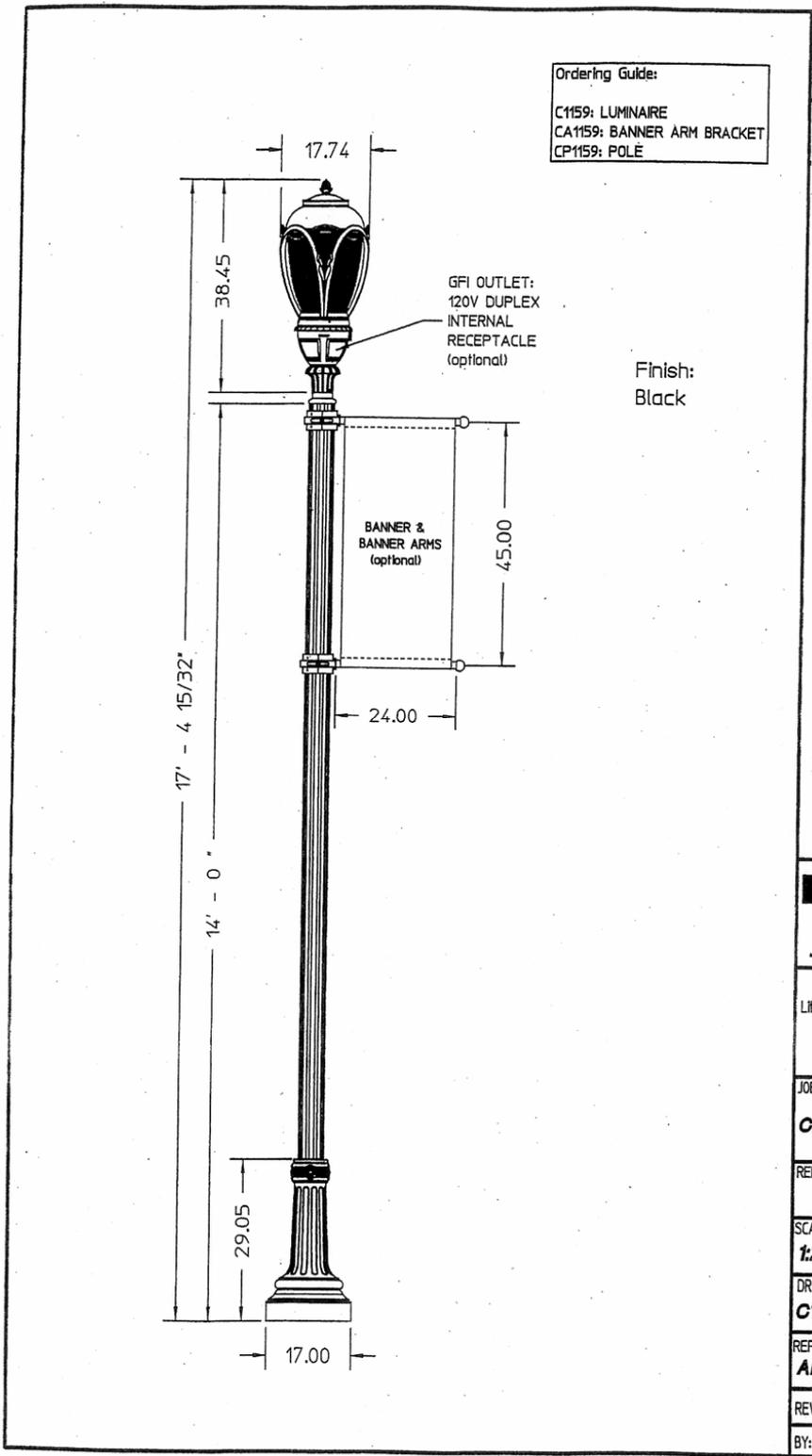


**TIER II - SIDEWALK & STREET LANDSCAPING PLAN**

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**7**



Ordering Guide:  
 C1159: LUMINAIRE  
 CA1159: BANNER ARM BRACKET  
 CP1159: POLE

Finish:  
 Black

**FIGURE:**  
**8**

**TOWN OF BRASELTON**  
**DOWNTOWN OVERLAY ZONING DISTRICT**  
**TYPE A PEDESTRIAN LIGHTING**

**HADCO**  
 a Genlyte company  
 ISO 9000: 2000 Certified  
 "Over 50 Years of Excellence"

100 Craftway P.O. Box 128  
 Littlestown, Pennsylvania 17340-0128  
 Phone 717-359-7131  
 Fax 717-359-9515  
 www.hadcolighting.com

JOB NAME:  
**City of Braselton**

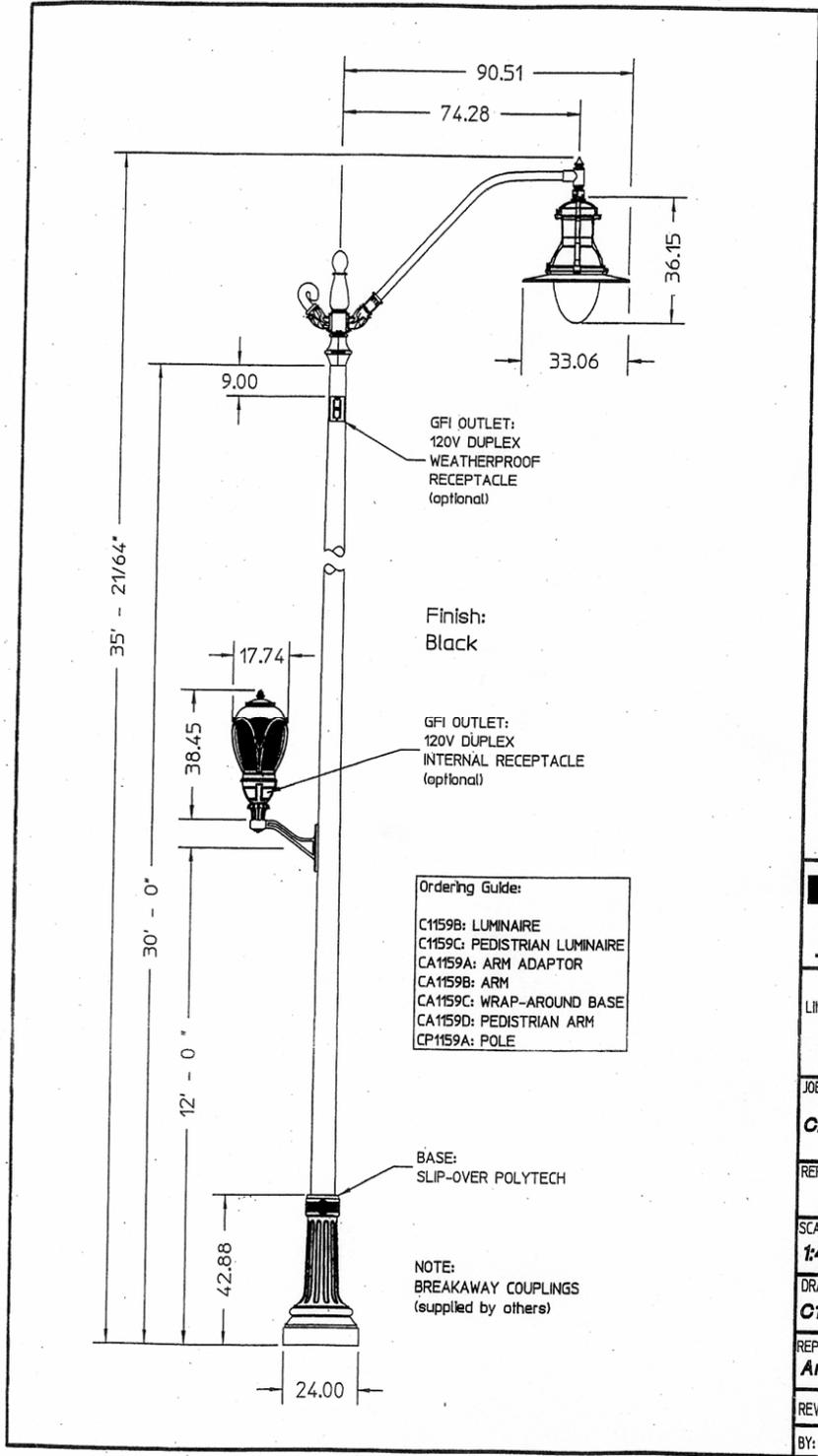
REP. TERRITORY: **42**      DRAWN BY: **SMK**

SCALE: **1:25**      DATE: **02/09/05**

DRAWING NUMBER:  
**C1159-DW001**

REP:  
**Ardd & Winter**

REV: **B**      PCN: **05-020**  
 BY: **SMK**      DATE: **02/10/05**



**FIGURE:  
8**

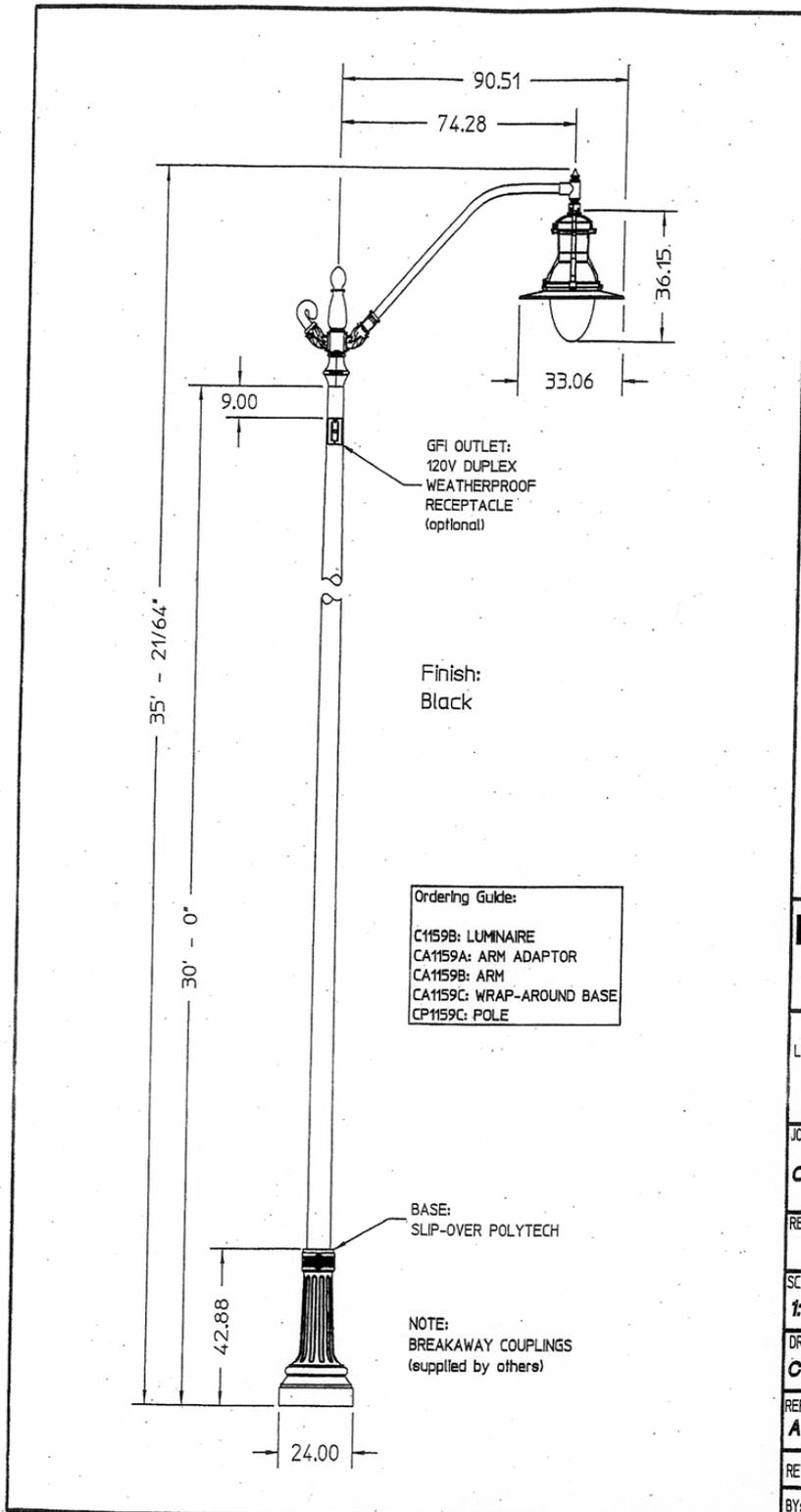
**TOWN OF BRASELTON  
DOWNTOWN OVERLAY ZONING DISTRICT  
TYPE B LIGHTING STANDARD**

**HADCO**  
a Genlyte company  
ISO 9000: 2000 Certified  
"Over 50 Years of Excellence"

100 Craftway P.O. Box 128  
Littletown, Pennsylvania 17340-0128  
Phone 717-359-7131  
Fax 717-359-9515  
www.hadcolighting.com

JOB NAME:  
**City of Braselton**

REP. TERRITORY: <b>42</b>	DRAWN BY: <b>SMK</b>
SCALE: <b>1:40</b>	DATE: <b>02/09/05</b>
DRAWING NUMBER: <b>C1159-DWG03</b>	
REP: <b>Ardd &amp; Winter</b>	
REV: <b>B</b>	PCN: <b>05-028</b>
BY: <b>SMK</b>	DATE: <b>02/10/05</b>



**FIGURE:  
8**

**TOWN OF BRASELTON  
DOWNTOWN OVERLAY ZONING DISTRICT**

**TYPE C ROADWAY LIGHTING**

Ordering Guide:  
 C1159B: LUMINAIRE  
 CA1159A: ARM ADAPTOR  
 CA1159B: ARM  
 CA1159C: WRAP-AROUND BASE  
 CP1159C: POLE

BASE:  
SLIP-OVER POLYTECH

NOTE:  
BREAKAWAY COUPLINGS  
(supplied by others)

**HADCO**  
 a Genlyte company  
 ISO 9000: 2000 Certified  
 "Over 50 Years of Excellence"

100 Craftway P.O. Box 128  
 Littlestown, Pennsylvania 17340-0128  
 Phone 717-359-7131  
 Fax 717-359-9515  
 www.hadcolighting.com

JOB NAME:  
**City of Braselton**

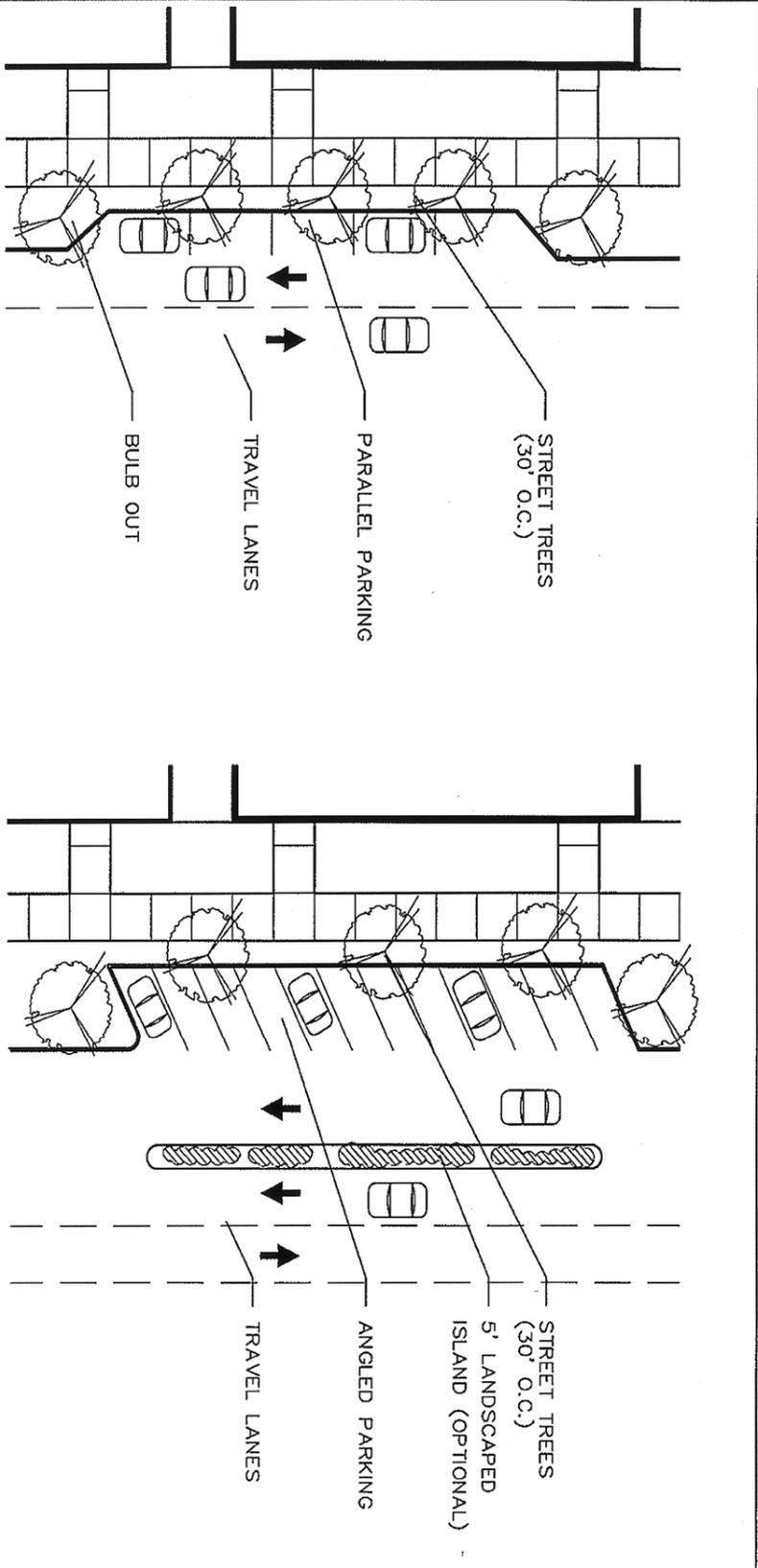
REP. TERRITORY: **42**      DRAWN BY: **SMK**

SCALE: **1:40**      DATE: **02/09/05**

DRAWING NUMBER:  
**C1159-DWG05**

REP:  
**Ardd & Winter**

REV: **B**      PCN: **05-026**  
 BY: **SMK**      DATE: **02/10/05**



ON-STREET PARKING PLAN (COLLECTOR STREET)

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

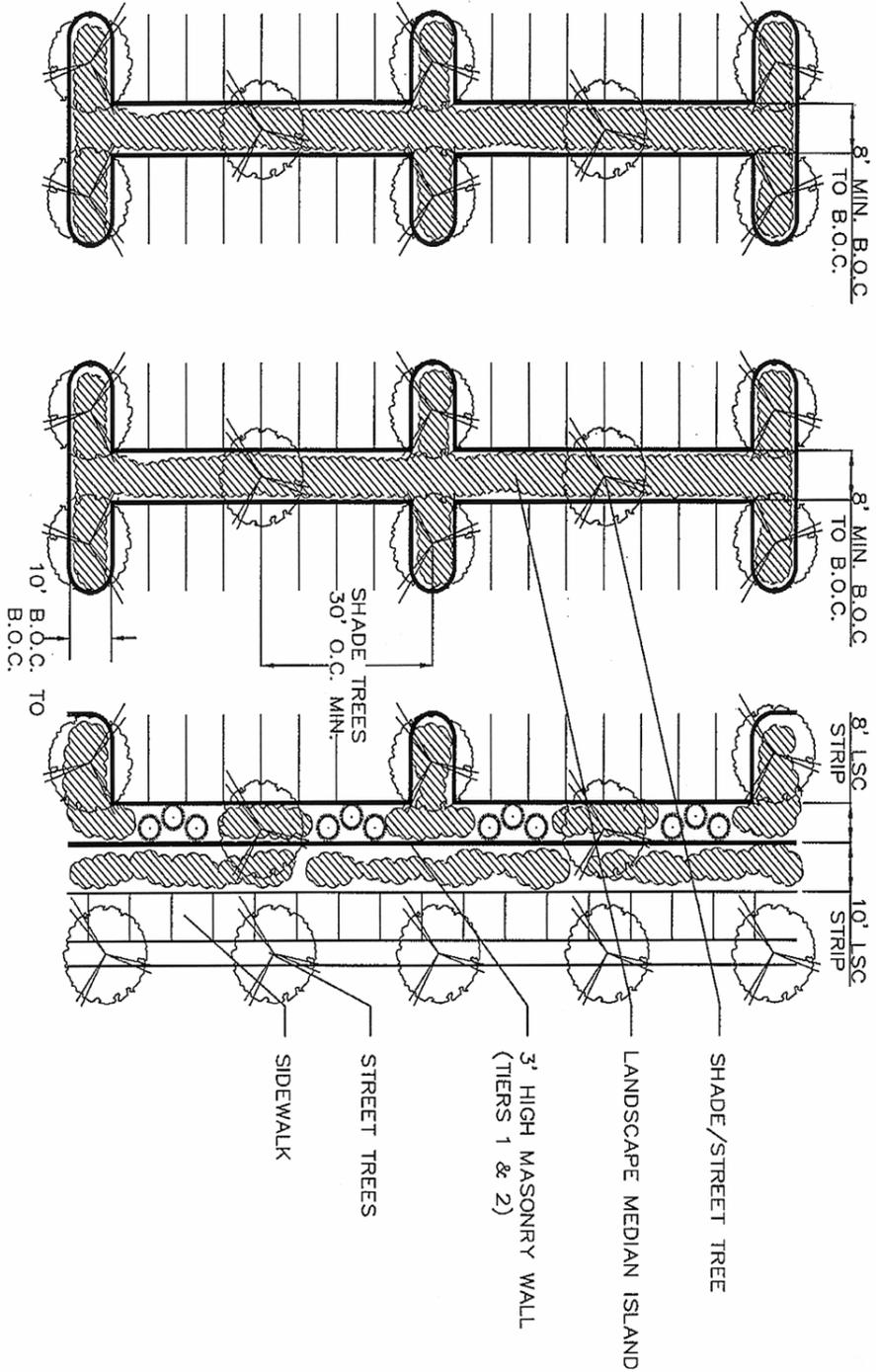
NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**9**

Town of Braselton  
Downtown Overlay District

DESIGN GUIDELINES

PART 3: PROPERTY DEVELOPMENT STANDARDS

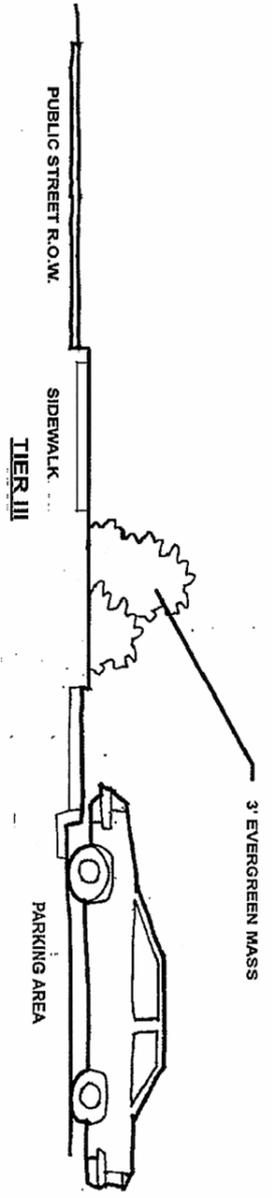
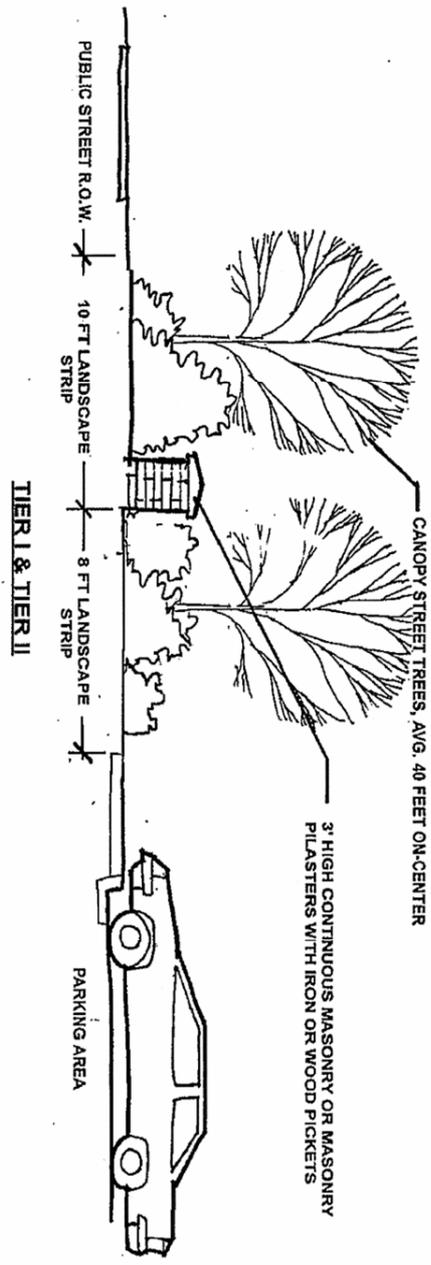


PARKING LOT LANDSCAPING PLAN

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**10**

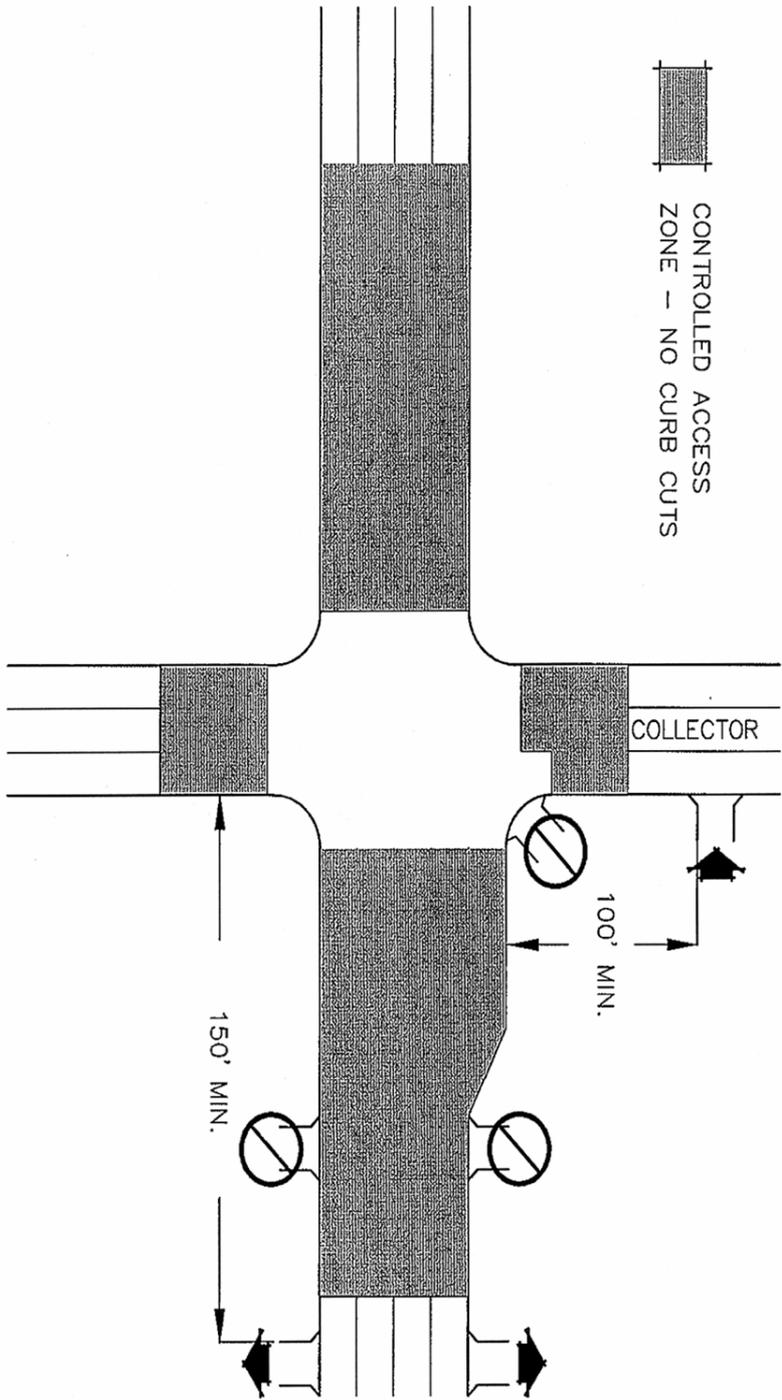


PARKING LOT SCREENING

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**11**

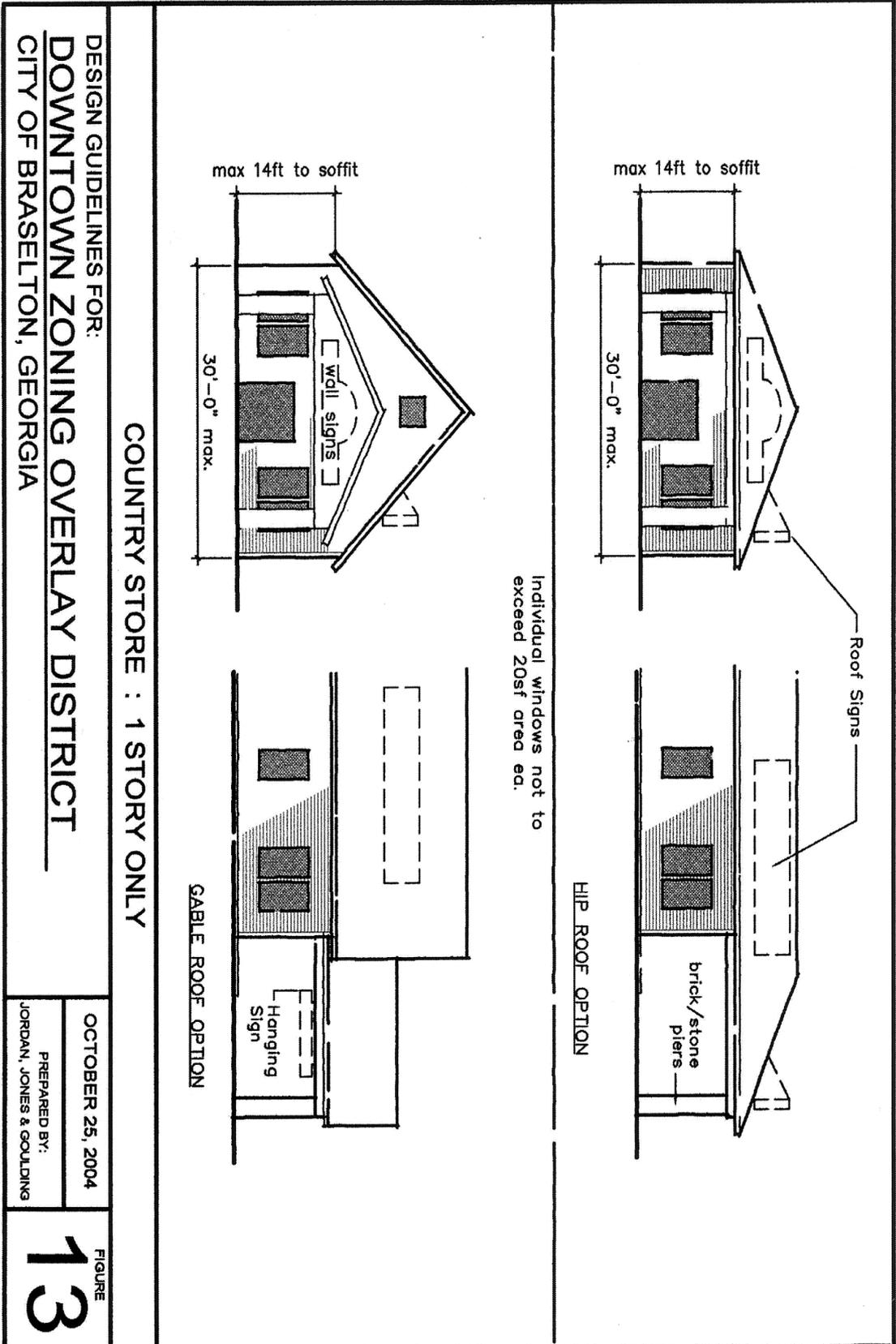


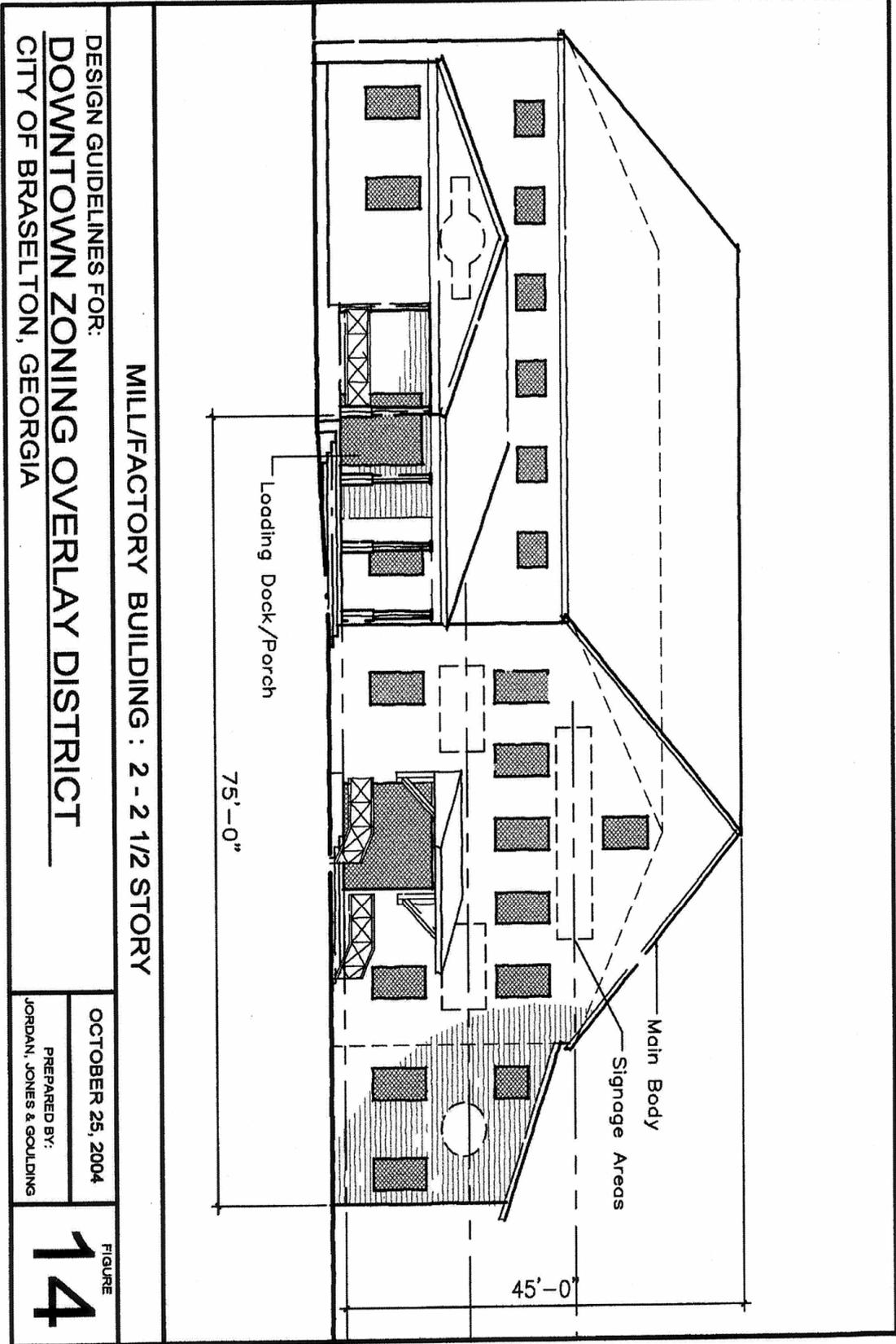
INTERSECTION ACCESS CONTROL

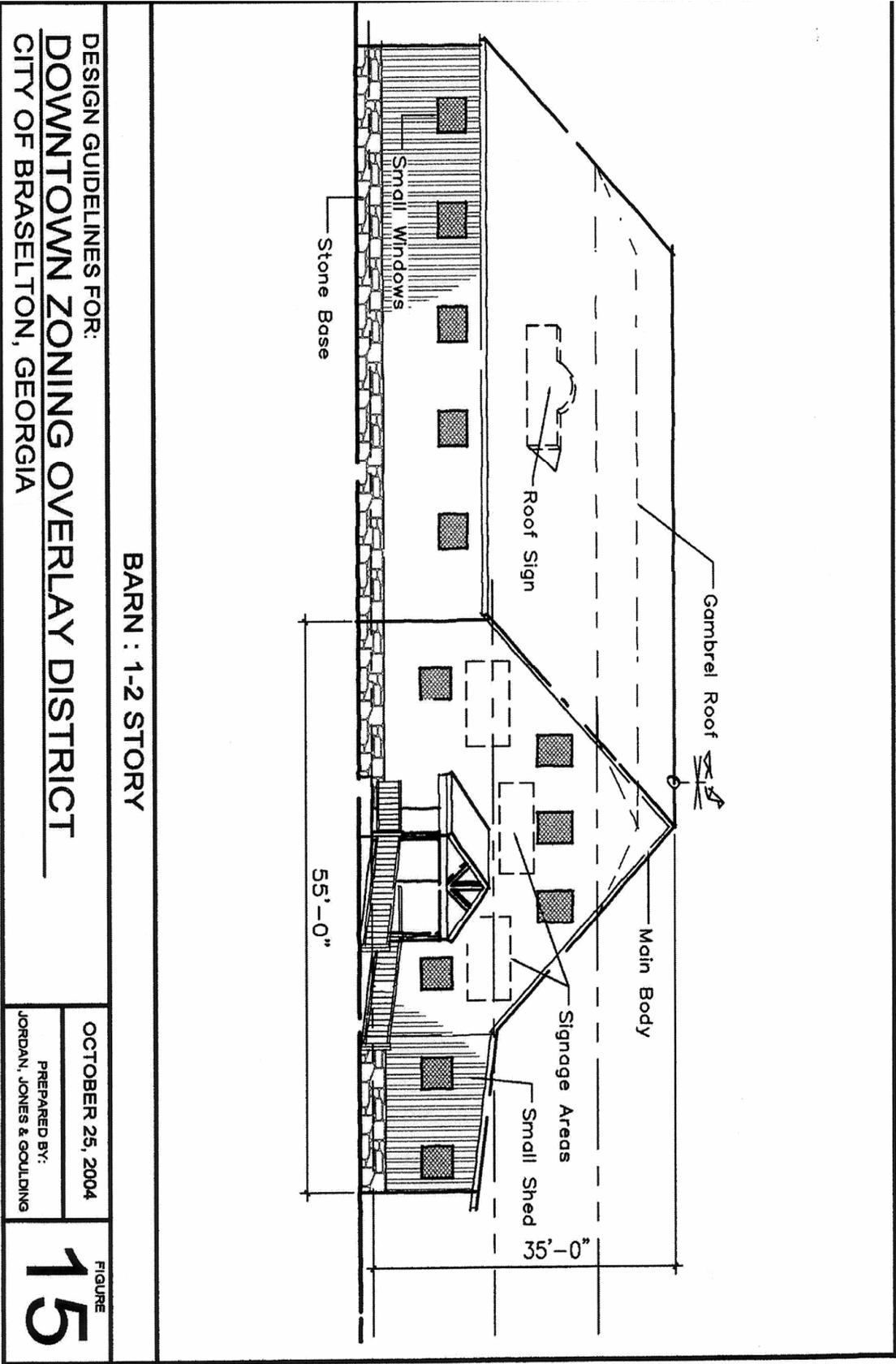
DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**12**





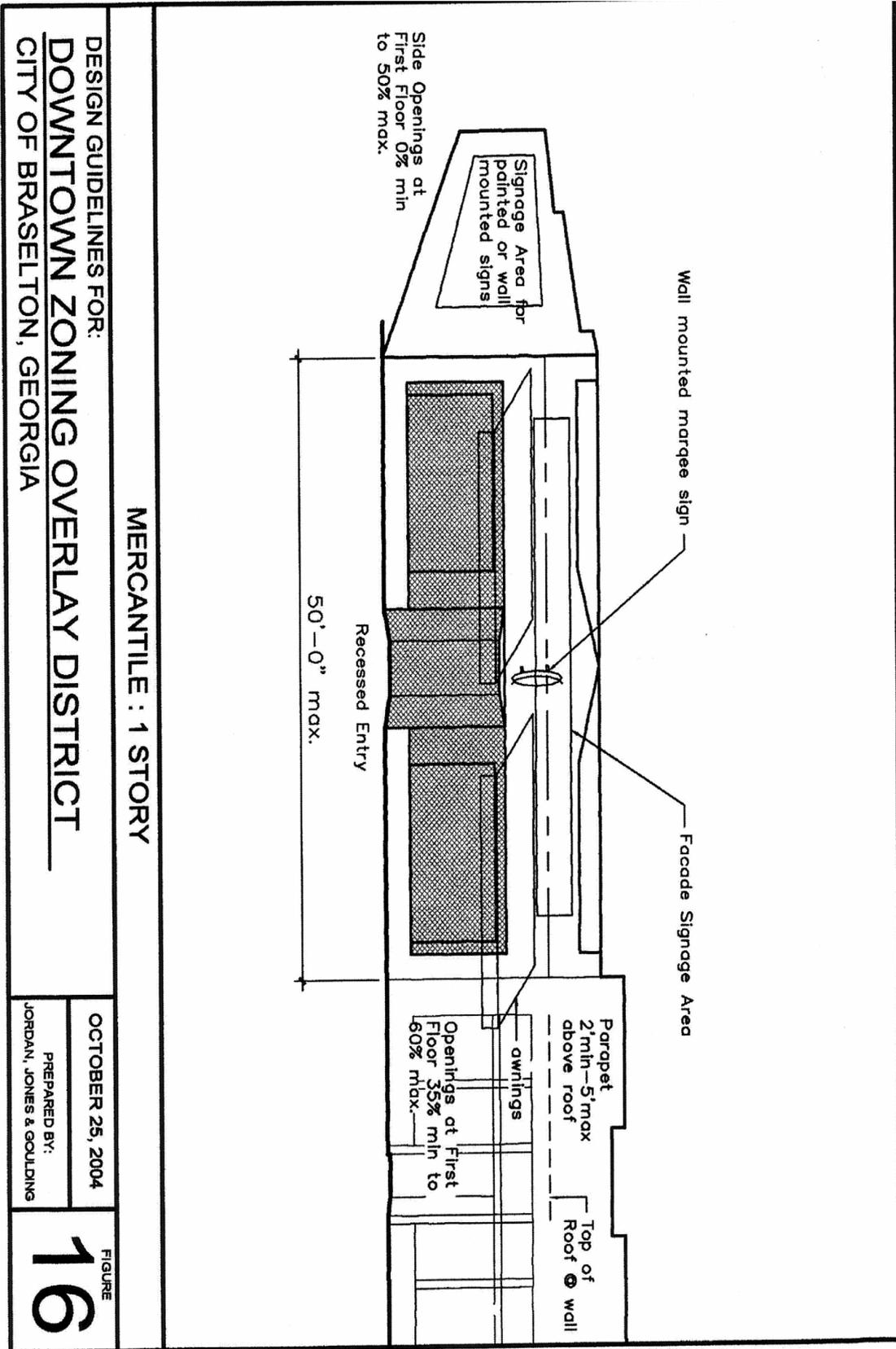


BARN : 1-2 STORY

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 CITY OF BRASELTON, GEORGIA

OCTOBER 25, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**15**

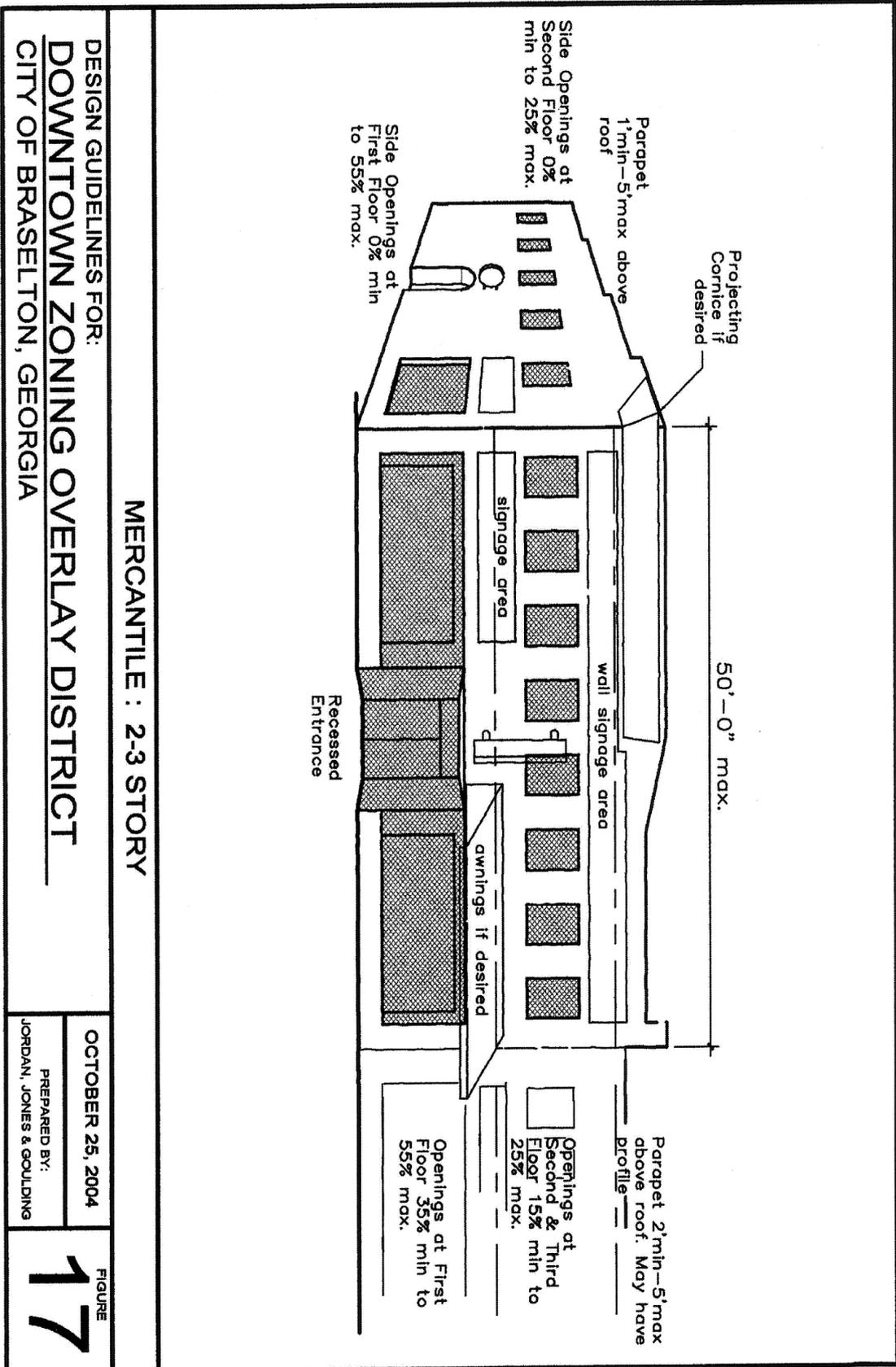


MERCANTILE : 1 STORY

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 CITY OF BRASELTON, GEORGIA

OCTOBER 25, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**16**

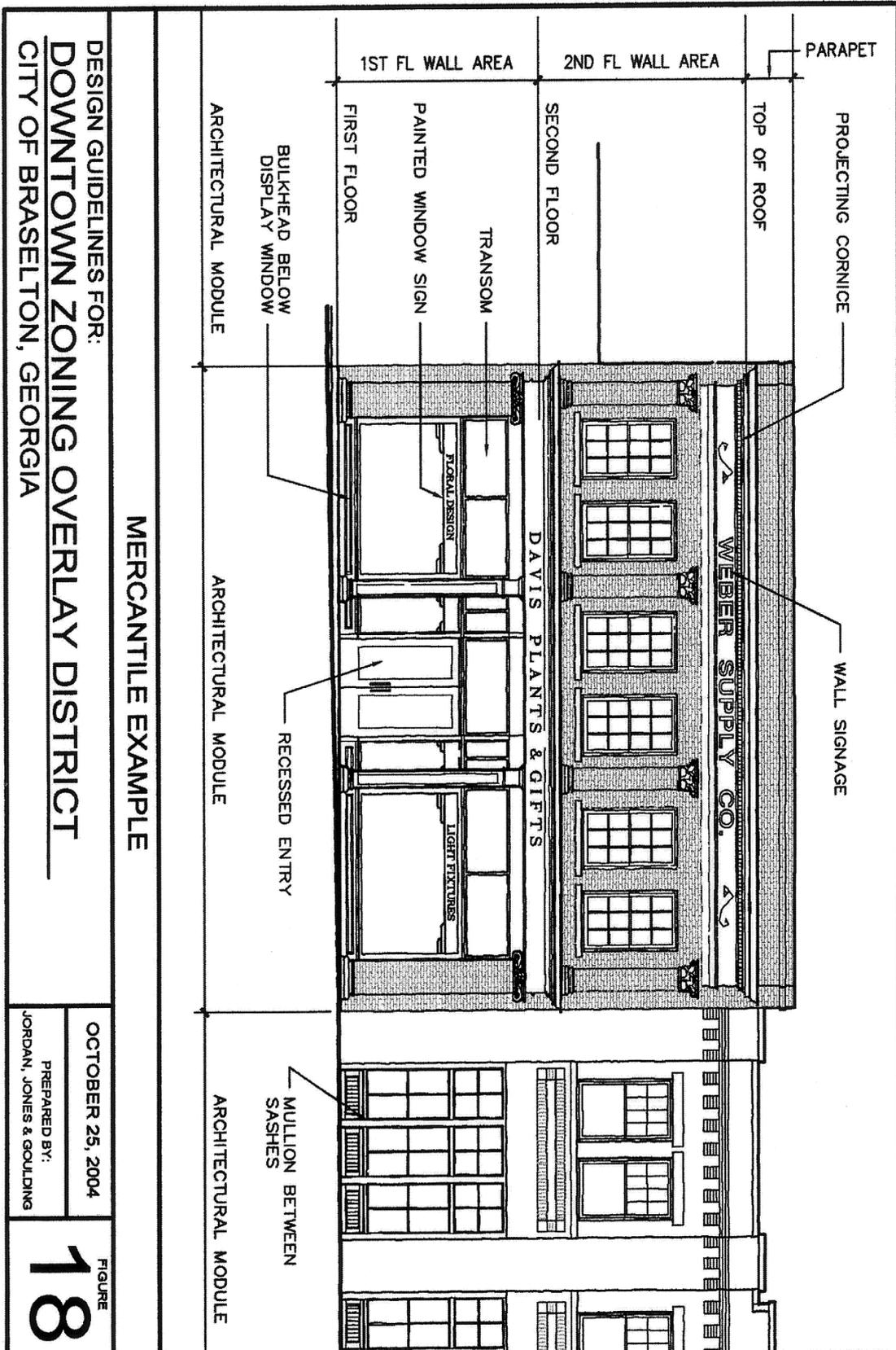


DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 CITY OF BRASELTON, GEORGIA

**MERCANTILE : 2-3 STORY**

OCTOBER 25, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**17**



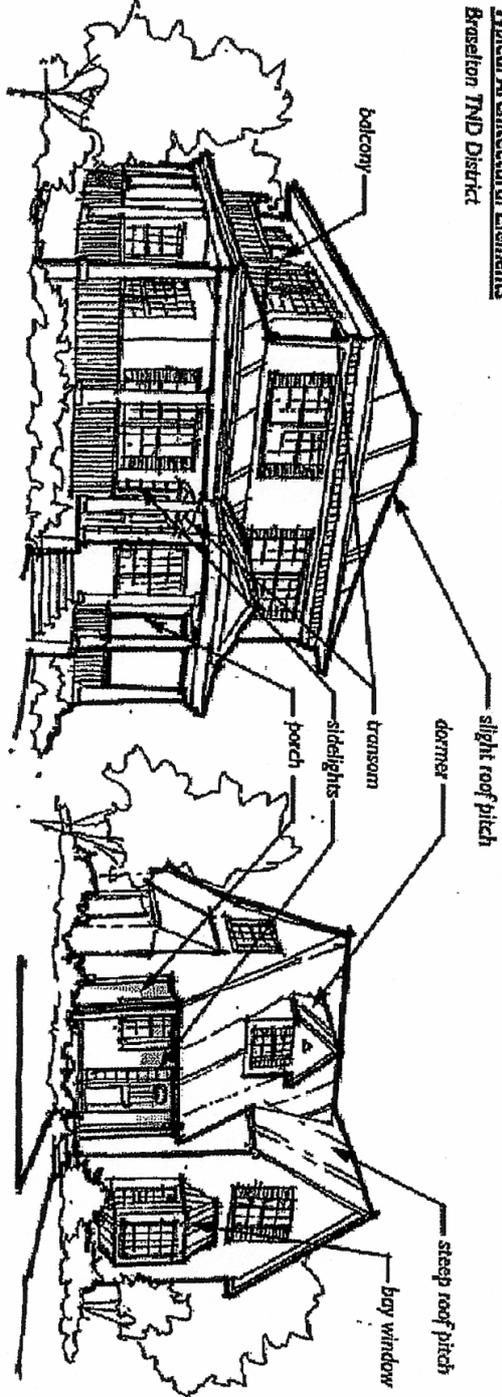
MERCANTILE EXAMPLE

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 CITY OF BRASELTON, GEORGIA

OCTOBER 25, 2004  
 PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE  
**18**

**Typical Architectural Elements**  
*Braselton TND District*



**ELEMENTS OF RESIDENTIAL DESIGN**

DESIGN GUIDELINES FOR:  
**DOWNTOWN ZONING OVERLAY DISTRICT**  
 TOWN OF BRASELTON, GEORGIA

NOVEMBER 9, 2004

PREPARED BY:  
 JORDAN, JONES & GOULDING

FIGURE

**19**